

Metro	Employee	Stamp	Page
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2022033833 MASTER PERMIT ONLY. EACH UNIT  
WILL REQUIRE SEPARATE PERMITS FOR  
CONSTRUCTION.

**NASHVILLE FIRE DEPARTMENT  
FIRE PREVENTION DIVISION**

**FIRE LIFE SAFETY REVIEW**

**X REVIEWED**  
**X SEE COMMENT SHEET**

**Joseph L. Almon**

**08/12/2022 2:59:29 PM**

**REVIEW AND APPROVAL BY THE FIRE CODE  
OFFICIAL SHALL NOT RELIEVE THE APPLICANT  
OF THE RESPONSIBILITY OF COMPLIANCE WITH  
APPLICABLE CODES**

**SUBJECT TO REVIEW AND APPROVAL  
BY OTHER METRO DEPARTMENTS**

	<h1>REVIEWED</h1> <p>AS NOTED HERE ON</p> <p>DEPARTMENT OF CODES AND BUILDING SAFETY</p>
<p><b>THIS SET OF PLANS SHALL BE PRINTED AND AVAILABLE ON THE JOBSITE DURING CONSTRUCTION.</b></p>	
<p><b>NOTICE:</b> This project may be subject to the provisions of the Americans with Disabilities Act (ADA) of 1991. You should contact the ADA Hotline at 202-514-0301 before commencing work. Failure to comply may result in Federal fines and penalties.</p>	
<p><b><u>FIRE STOPPING REQUIREMENT</u></b></p>	
<p>Penetrations thru rated walls and floors shall be sealed with material capable of preventing the passage of flames and hot gasses when subjected to the requirements of the Test Standard specific for Fire Stops UL 1479 (ASTM E 814)</p>	
<p><i>Richard Wolford</i></p>	
<p>REVIEWED BY:</p>	<p>DATE:</p>
<p>Permit ID Number:</p>	

7/6/22

2022033833

Master Permit ONLY -  
NO CONSTRUCTION THIS  
PERMIT. Governed by IRC

# Bookmark Summary

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[Cover Sheet](#)  
[Application for Online Plans Submittal](#)  
[Master Site Permit Plans Requirements \(annotated\)](#)  
[Survey with Utilities](#)  
[Landscaping Plan](#)  
[Slab on Grade - Construction Documents](#)  
[1st Floor - Construction Documents](#)  
[2nd Floor - Construction Documents](#)  
[3rd Floor & Roof - Construction Documents](#)  
[North & West Elevations - Construction Documents](#)  
[South & East Elevations - Construction Documents](#)  
[Unit A - Construction Documents](#)  
[Units B & C - Garage & 2nd Floor - Construction Documents](#)  
[Units B & C - 3rd Floor and Roof - Construction Documents](#)  
[Units B & C - North and East Elevation - Construction Documents](#)  
[Units B & C - South & Middle Elevation - Construction Documents](#)  
[Unit A - Garage Slab and Section - Construction Documents](#)  
[Unit A - Main Level & 2nd Floor - Construction Documents](#)  
[Unit A - 3rd Floor & Roof - Construction Documents](#)  
[Unit A - North & East Elevations - Construction Documents](#)  
[Unit A - South and East Elevations - Construction Documents](#)  
[ST-210](#)  
[ST-200](#)  
[Hydrant Flow Test](#)  
[Hydrant Flow Test Results](#)  
[Hydrant Flow Test Results 2](#)  
[Firewall UL Rating](#)

# Cover Page

UDO #2021UD-001-021

Master Permit #2022033833

Child Permit #T2022033843 (1258A 1st Ave S)

Child Permit #T2022033847 (1258B 1st Ave S)

Child Permit #T2022033850 (1258C 1st Ave S)

Units B&C are identical. Unit A has a different floor plan. We are seeking to avoid installing sprinkler system on this project.

## SQUARE FOOTAGE FOR UNIT B&C

175	HEATED FIRST FLOOR
808	HEATED SECOND FLOOR
808	HEATED THIRD FLOOR
1791	TOTAL HEATED
633	CARPORT & STORAGE
633	TOTAL UNHEATED
2424	TOTAL UNDER ROOF

## SQUARE FOOTAGE FOR UNIT A

213	HEATED FIRST FLOOR
826	HEATED SECOND FLOOR
859	HEATED THIRD FLOOR
1898	TOTAL HEATED
589	CARPORT & STORAGE
59	PORCH
648	TOTAL UNHEATED
2546	TOTAL UNDER ROOF

# Application for Online Plans Submittal

METROPOLITAN GOVERNMENT  
OF  
NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF  
CODES AND BUILDING SAFETY



Please fill in the application below and attach electronic files of your plans to submit them for review. The plan files need to be submitted in PDF format. *When submitting plans, please combine all PDF files into one.* Note: This is a protected form and entries can be placed in each field by pressing the "Tab" key to position the cursor to the corresponding field.

Send form to [ePlanReview@nashville.gov](mailto:ePlanReview@nashville.gov)

Name of Project	
Address of Project	
Map and Parcel Number	
Registered Eplan User Name	
Contact Address	
Contact City, State, ZIP	
Contact Phone Number	
Contact Email Address	
Architect/Engineer Name	
A/E Phone Number	
Contractor Name	
Contractor Phone Number	
Contract Value or Construction Cost (if known)	
Scope of Work	

**ePlanReview is the electronic plan submittal and review product provided by the Metropolitan Government of Nashville and Davidson County.**

Department of Codes and Building Safety  
Metro Office Building  
800 2nd Avenue South, 3rd Floor  
Nashville, Tennessee 37210

For additional information or assistance please contact:

Ronya Sykes  
[ronya.sykes@nashville.gov](mailto:ronya.sykes@nashville.gov)  
(615) 880-2649

Wade Hill, AIA  
[wade.hill@nashville.gov](mailto:wade.hill@nashville.gov)  
(615) 862-6520



## MASTER/ SITE PERMIT

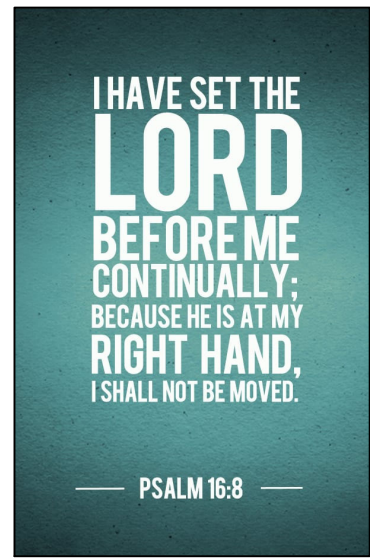
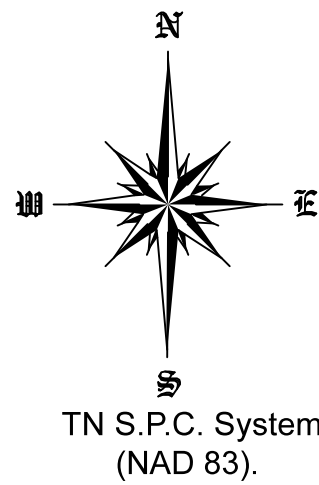
### PLAN REQUIREMENTS

ALL REVIEWS WILL BE CONDUCTED ELECTRONICALLY. PLANS SHALL BE SUBMITTED VIA THE CODES DEPARTMENT E-PLANS PORTAL. PAPER PLANS ARE NOT ACCEPTED FOR REVIEW.

AT A MINIMUM, SUBMITTALS FOR REVIEW OF MASTER/ SITE PERMITS SHOULD CONSIST OF THE PLANS AND DOCUMENTATION NOTED BELOW. PLANS SHALL BE TO SCALE. PLANS SHALL BE PROPERLY SEALED BY A REGISTERED DESIGN PROFESSIONAL WHERE REQUIRED. FAILURE TO INCLUDE THE NECESSARY PLANS WILL CREATE DELAYS IN THE PLAN REVIEW AND PERMITTING PROCESS. AFTER INITIAL REVIEW, ADDITIONAL DOCUMENTATION MAY BE REQUESTED.

- 1) METRO NASHVILLE BUILDING PERMIT APPLICATION AND APPLICATION NUMBER See first page
- 2) CIVIL SITE PLANS:
  - Existing site conditions/ demolition plan Survey provided. No demolition required.
  - Overall site plan Provided
  - Topographic contour Lot is flat
  - Utility plan (Water mains, sewer, storm drains, fire mains, fire hydrants, electrical & communication lines) Utility plan marked on survey
  - Fire apparatus access plan Through alley or front of house
  - Landscape plan Provided
  - Pavement sections and detail. ST210, ST200 provided
- 3) FIRE HYDRANT FLOW TEST REPORT Provided. I am seeking to build a 2 hour rated wall in between units and avoid fire sprinklers
  - Fire hydrant flow test report must be obtained from the water utility provider.
  - Test reports must be on the water utility providers form or letterhead.
  - Test results greater than six (6) months old will not be accepted.
  - \*Recommend obtaining test reports from at least two separate hydrants.
- 4) ARCHITECTURAL ELEVATIONS
  - Four sided elevations for each building type. Provided
  - General overall floor plans. Provided
  - Fire-rated construction/ separations noted (Provide UL assembly number) U342
- 5) BUILDING CODE ANALYSIS
  - List of codes and design criteria utilized. Provided in architectural plans
  - Construction type. 2x6 wood framing
  - Fire alarm and fire protection systems N/A
  - Special design criteria N/A

APPROVAL OF A MASTER OR SITE PERMIT IS NOT AN APPROVAL FOR CONSTRUCTION. ADDITIONAL PERMITS AND/OR REVIEWS MAY BE REQUIRED.



ZONING: RM20-A-NS  
OV-UDO BL2021-635  
OV-UZO BL2020-476  
MIN LOT: 5,445 - 7,499 S.F.  
MAX BLDG: 3(entitled) UDO STD  
DENSITY: 20 UNITS/ACRE  
MAX HGHT: 3 STY IN 35'

SETBACKS  
FRONT: 20'  
REAR: 5'  
SIDE: 5'

1258 1st Ave S  
UDO #: 2021UD-001-21

- GAS MARKER
- GAS VALVE
- STORM WATER MH
- WATER RECLAIM BOX
- S W CATCH BASIN

- PROPERTY LINE
- SETBACK LINE
- ROAD - CTR LINE
- ROAD R.O.W.
- WATER LINE
- POWER OVHD
- SILT FENCE
- SS LINE
- GAS LINE

## LEGEND

These standard symbols will be found in the drawing.

- IRON PIN FOUND
- IRON PIN SET
- DEED POINT
- PK NAIL
- FENCE POST
- PP XRMR
- PWR/LGT POLE
- FIRE HYDRANT
- UN-GRD CABLE
- ELECTRIC METER
- SEWER MANHOLE
- SEWER CLEANOUT
- WATER METER
- WATER VALVE

### GENERAL NOTES

- In Tennessee, it is a requirement of "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call System can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, as well as information obtained from the respective companies. The existence or nonexistence of the utilities shown or any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements, where shown hereon, are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to: sanitary sewers, force mains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
- Bearings based on the Tennessee State Plane Coordinate System (NAD 83).

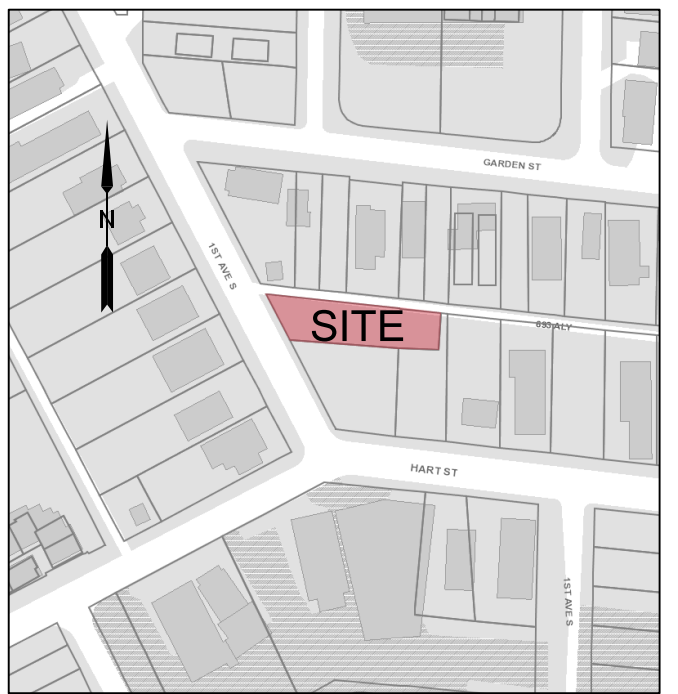
HEARN  
1252 1st AVENUE SOUTH  
PARCEL ID: 10504018900  
DB-20210709 0092543

New NES pole.  
Sidewalk will be  
routed around this  
pole with 5' clear as  
per NDOT  
comments

6 total parking spaces in  
open bay parking

IMPERVIOUS AREA(S) DATA TABLE  
PRE-IMPERVIOUS AREA = 0 S.F.  
POST-IMPERVIOUS AREA = 2630 S.F.  
INCREASED IA = 2630 S.F.  
TEIR II BMP FOR INFILL  
TWO 60 SF 30" RAINGARDENS

AVG HGT CALC:  
AVG HGT CALC: 1252 HEIGHT 19.2'  
AVG HGT CALC: 1262 EMPTY LOT 35.0'  
 $19.2 + 35.0 = 54.2 / 2 = 27.1 + 8 = 35.0'$   
ALLOWABLE HEIGHT = 35.0'



VICINITY MAP NOT TO SCALE

### CONCEPTUAL FRONT CALCULATION

#1252 8.8'  
# 14 20.9'  
# 16 18.5'  
# 24 14.7'  
 $62.9' \div 4$   
AVG = 15.7'

FLOOD INSURANCE NOTE:  
By graphics plotting only, this property is in **ZONE X** of the Flood Insurance Rate Map, Community Panel No. 47037C0244H effective date of 04/05/2017. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

FRONT SETBACK  
1252 1st AVE S 8.8'  
14 HART ST 20.9'  
16 HART ST 18.5'  
24 HART ST 14.7'  
 $62.9' \div 4$   
AVG = 15.72'

TOTAL AREA  
5,562.37 S.F.  
0.13 Acres

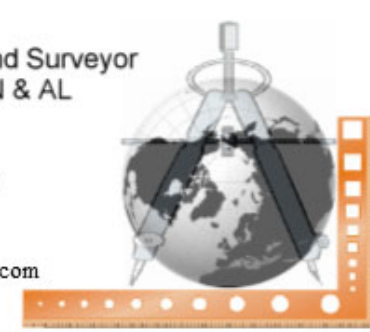
CODE 17.12.020A  
FRONT SETBACK 15.72'  
SIDE SETBACK 5'  
REAR SETBACK 5'



Doyle Elkins  
Professional Land Surveyor  
Registered in TN & AL

520 W Lytle St Suite B  
Memphis, TN 37130  
Phone: 615-907-8625  
Cell: 931-636-2414

Elkinsdoyle@gmail.com



I HEREBY CERTIFY THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION FOR THE UNADJUSTED SURVEY IS GREATER THAN 1:15,000 AS SHOWN HEREON.

SITE PLAN  
1ST AVENUE SOUTH  
1258 1ST AVE. S., NASH. TN. 37210  
DAVIDSON COUNTY, TENNESSEE

PREPARED FOR: JOSH HELMER

DATE	SCALE	SHEET	DRAWN BY	PROJECT
FEB 18, 2022	1" = 30'	1 OF 1	TVM/DME	21385



Date	3/18/2022		
Map:105-04	Parcel - 215	105204021500	
Application number:	T2022xxxxxx		
Project Name	1258 1st Ave.		
Address	1258 1st Ave., Nashville, TN 37216		

- 1 Acreage (area of parcel including building site)  
2 Minus Building Coverage Area  
3 Equals Adjusted Acreage  
4 Multiply by Required Tree Density Unit per acre  
choose one  
5 Required TDU for Project

HERITAGE TREE(S) RETAINED

DBH	# OF TREES	VAULE	TDU
8"		x 3.2	0
10"		x 4.0	0
12"		x 4.8	0
14"		x 5.6	0
16"		x 6.4	0
18"		x 7.2	0
20"		x 8.0	0
22"		x 8.8	0
24"		x 9.6	0
*Greater than 24" equals DBH x .5 per inch			
total			0
add total to line 6			

RETAINED TREE(S)

DBH	# OF TREES	VAULE	TDU
24"		x 8.4	0
26"		x 9.1	0
28"		x 9.8	0
30"		x 10.5	0
32"		x 11.2	0
34"		x 11.9	0
36"		x 12.6	0
38"		x 13.3	0
40"		x 20.0	0
total			0
add total to line 6			

REPLACEMENT TREE(S)- LARGE & MEDIUM CANOPY TREES			
CAL	# OF TREES	VAULE	TDU
2"	2	x 0.5	1
3"	1	x 0.6	0.6
4"		x 0.7	0
5"		x 0.9	0
6"		x 1.0	0
7"		x 1.2	0
8"		x 1.3	0
total			1.6
add total to line 7			
EXAMPLES but not limited to:			
Deciduous- Oak Maple, Poplar, Planetree, Ginko			
Evergreen- Am. Holly, So. Magnolia, Pine, Hemlock, Spruce, Cedar			
Mature height greater than 30'			

- 6 Total TUD Retained on-site  
7 Total TUD for Replacement Trees- On Site  
8 Total Credits Paid to Tree Mitigation Bank\*  
9 Total Density Units Provided

The total density units provided (line 9) must equal or exceed the requirements of line 5 above.

All Retained and Replacement trees must be shown on site plan.

Trees not protected in accordance with 17.24.110 - Protection of trees during development activities, cannot be counted towards TDU.

Canopy Street Trees with less than 600 c.f. or Understory with less than 400 c.f. root volume receive no TDU credit.

\* Tree Bank cannot be used for Buffer, Screening, Frontage, Perimeter or other requirements. Only for balancing Required TDU.

1258 1st Ave S  
UDO #: 2021UD-001-21

0.13 AC	5,562 SF		
(-) 0.06 AC	2,477 SF		
(=) 0.07 AC	3,085 SF		
(X) 22	All but single Family and 1 & 2 Family	14	Single Family and 1 & 2 Family
(=) 1.6 TDU		(=)	

RETAINED TREE(S)

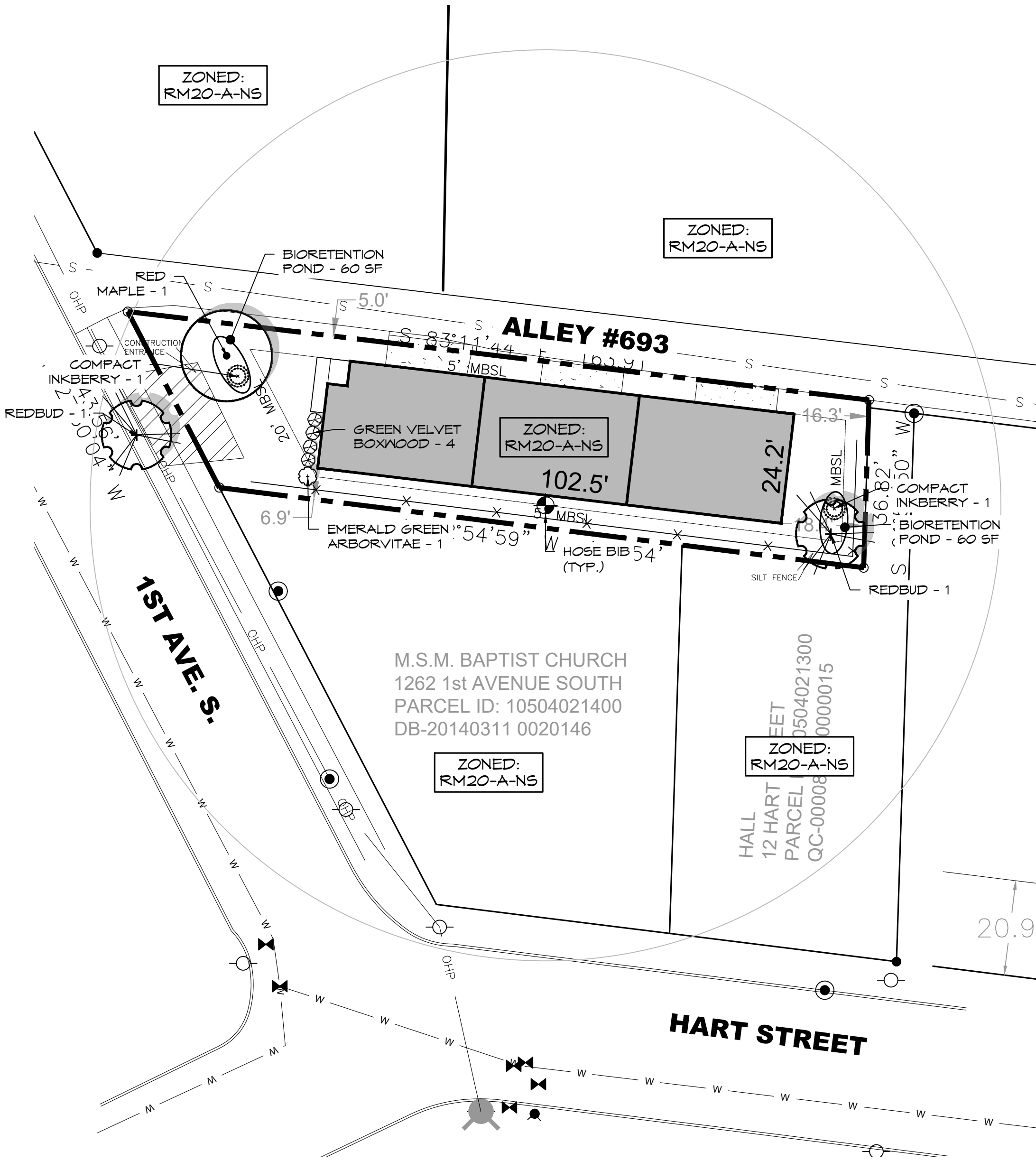
DBH	# OF TREES	VAULE	TDU
6"		x 1.8	0
8"		x 2.4	0
10"		x 3.0	0
12"		x 3.6	0
14"		x 4.2	0
16"		x 4.8	0
18"		x 5.4	0
20"		x 6.0	0
22"		x 6.6	0
total			0
add total to line 6			

RETAINED TREE(S)

DBH	# OF TREES	VAULE	TDU
42"		x 23.1	0
44"		x 26.1	0
46"		x 27.6	0
48"		x 28.8	0
50"		x 30.0	0
52"		x 31.2	0
54"		x 35.1	0
56"		x 36.4	0
58"		x 37.7	0
60"		x 42.0	0
total			0
add total to line 6			

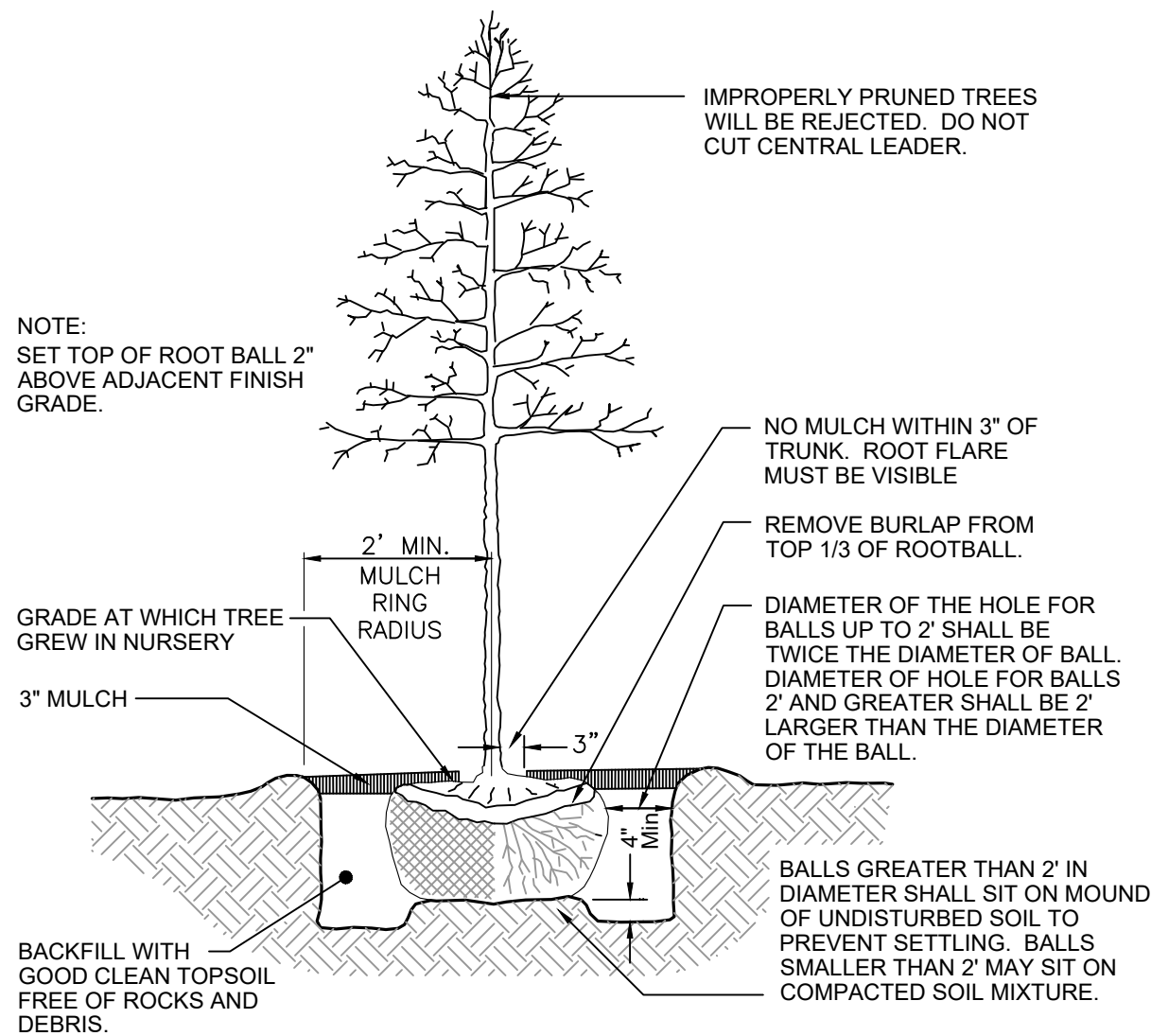
REPLACEMENT TREE(S)- LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY TREES and STREET TREES*			
CAL	# OF TREES	VAULE	TDU
2"		x 0.25	0
3"		x 0.3	0
4"		x 0.4	0
5"		x 0.5	0
6"		x 0.5	0
7"		x 0.6	0
8"		x 0.7	0
total			0
add total to line 7			
EXAMPLES but not limited to:			
Columnar (Fastigate)-Deciduous: Slender Silhouette Sweetgum, Arnold Tulip Poplar, Princeton Sentry Ginkgo			
Understory Deciduous - Redbud, Dogwood, Flowering Cherry, Japanese Magnolia, Japanese Maple			
Understory Evergreen - Dwf. Magnolia, Hybrid Holly, Cherry Laurel (tree form)			
Mature height avg. 30' or less.			
Small Understory Columnar varieties receive no TDU credit			

0		
(+) 1.6		
(+) 0	1 Credit = 1 TDU = \$725.00	\$0.00
(=) 1.6	total must exceed lines 5	1.6 TDU

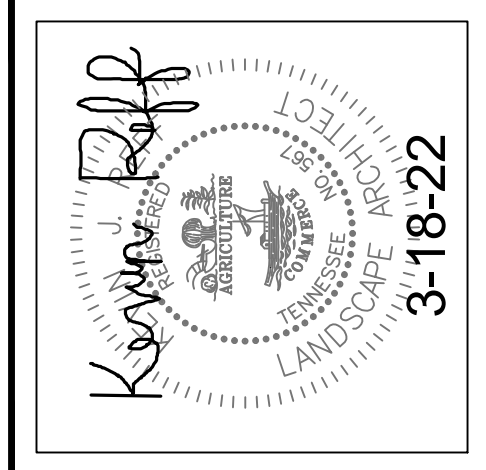
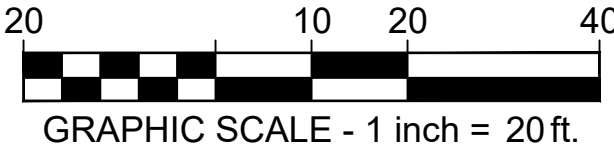


LANDSCAPE NOTES:

- WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED. NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
- THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1: LATEST EDITION, FOR SIZE AND QUALITY.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA SUSTAINABLE DESIGNS, LLC (615) 469-1222.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- SOD ALL DISTURBED AREAS.
- SOIL USED FOR PLANTING SHALL CONSIST OF (5) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.  
A. SAND SHALL BE CLEAN MASONRY SAND.  
B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.  
C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
- ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD. (CONTACT OWNER FOR MULCH COLOR)
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
- PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
- THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
- ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
- SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDDED AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED.
- CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
- IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
- ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
- REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.  
PLANTING DATES  
SPRING: MARCH 15 - APRIL 15  
FALL: OCTOBER 1 - NOVEMBER 30
- THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- NEW LANDSCAPING SHALL BE WATERED BY HOSE BIBS ON THE PROPOSED BUILDING.
- SITE RESIDES IN WEDGEWOOD-HOUSTON CHESTNUT HILL DESIGN OVERLAY DISTRICT.



DECIDUOUS TREE PLANTING  
NOT TO SCALE



1258 1st Ave.  
1258 1st Ave.  
NASHVILLE, TN

Kevin Reff, RLA  
KITA Sustainable Designs, LLC  
2101 Masters Drive  
Springfield, TN 37172  
(615) 469 - 1222 Ofc.  
(615) 594 - 7333 Cell.  
kref@kitadesign.biz

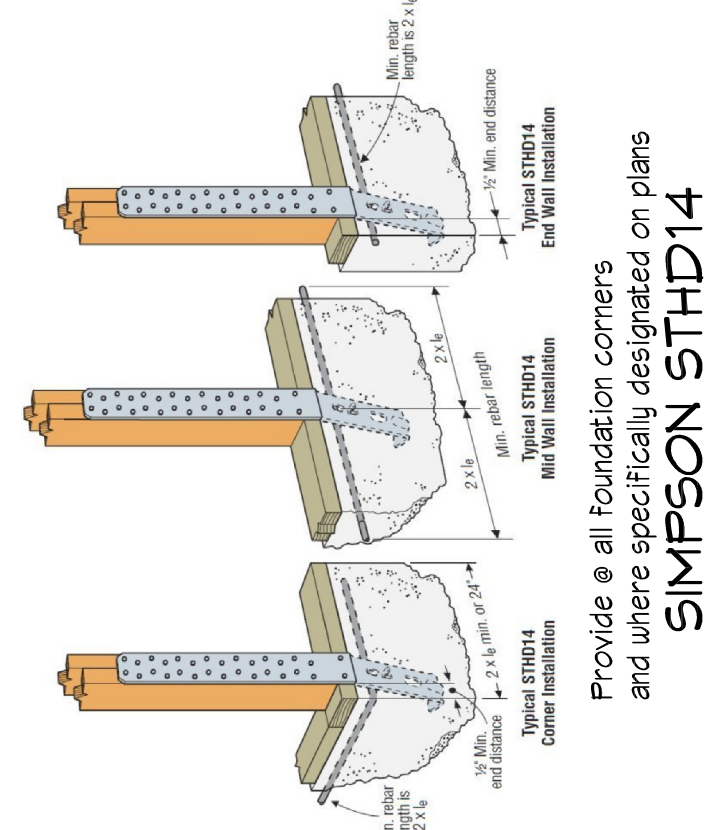
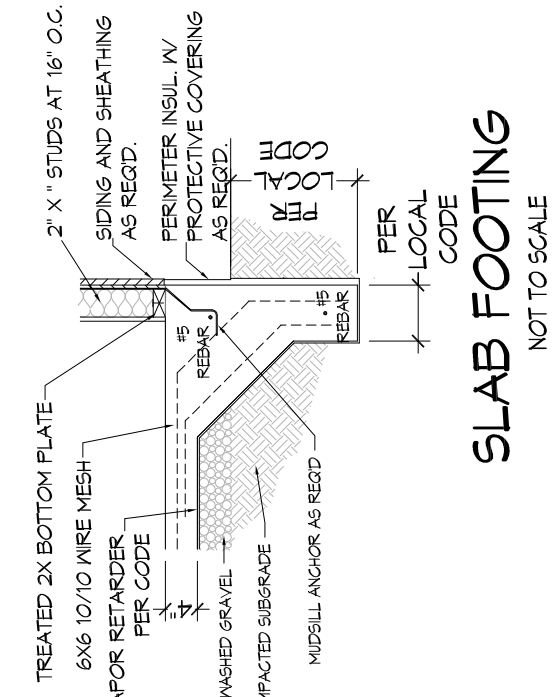


REV.	DATE	COMMENT
1		

LANDSCAPE PLAN

L-1.1  
1242-01



[illegible]

**MEMBER**

**A | B<sup>®</sup>**

**AMERICAN INSTITUTE of  
BUILDING DESIGN**

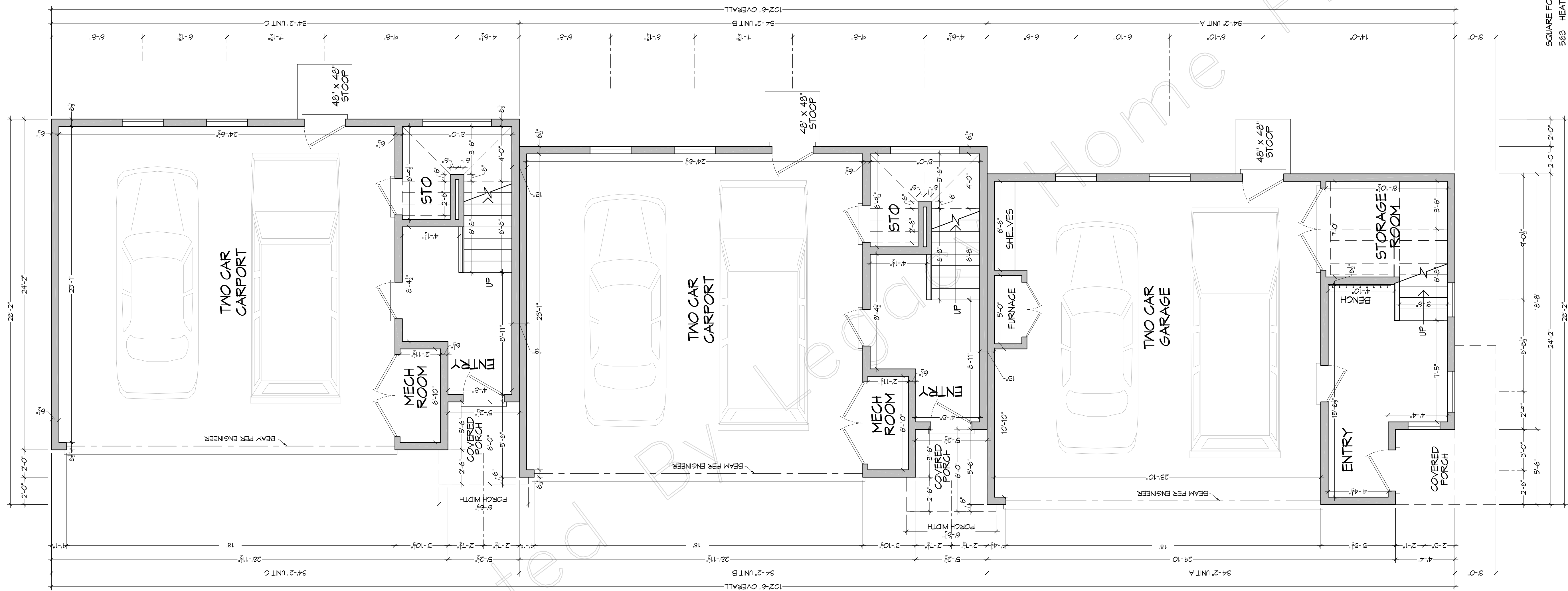


FOR	Brian Musser		SCALE	DATE	FILE
PLAN NAME	Stones River 1.5 & 2.5		As Shown	4-21-22	
PLAN NO.	0175-808-808-633 0213-826-859-648		DRAWN BY OMA/SMV		
			SHEET # <b>1</b>		
			<b>TRIPLEX</b>		

FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



1st Floor Combined



MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE FOR UNIT B/C  
175 HEATED FIRST FLOOR  
808 HEATED SECOND FLOOR  
808 HEATED THIRD FLOOR  
1791 TOTAL HEATED  
633 CARPORT & STORAGE  
633 TOTAL UNHEATED  
2424 TOTAL UNDER ROOF

SQUARE FOOTAGE FOR UNIT B/C  
175 HEATED FIRST FLOOR  
808 HEATED SECOND FLOOR  
808 HEATED THIRD FLOOR  
1791 TOTAL HEATED  
633 CARPORT & STORAGE  
633 TOTAL UNHEATED  
2424 TOTAL UNDER ROOF

SQUARE FOOTAGE FOR UNIT A  
213 HEATED FIRST FLOOR  
826 HEATED SECOND FLOOR  
851 HEATED THIRD FLOOR  
1890 TOTAL HEATED  
581 CARPORT & STORAGE  
51 PORCH  
646 TOTAL UNHEATED  
2546 TOTAL UNDER ROOF

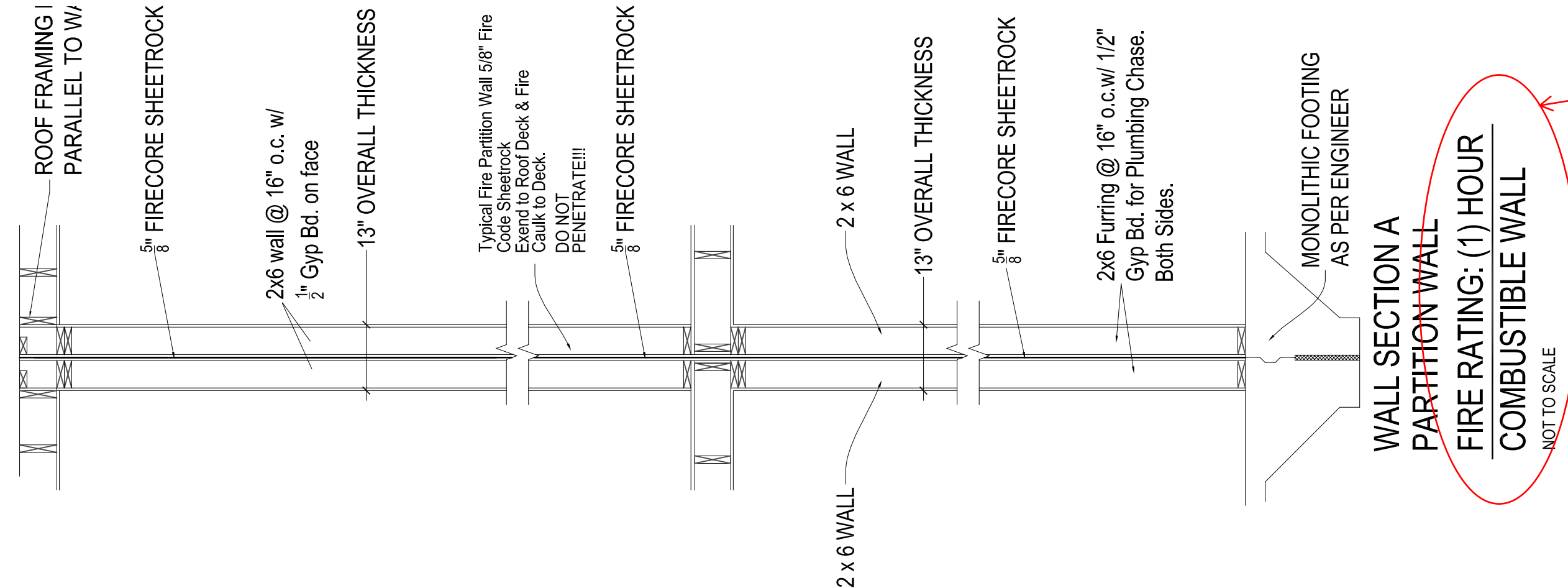
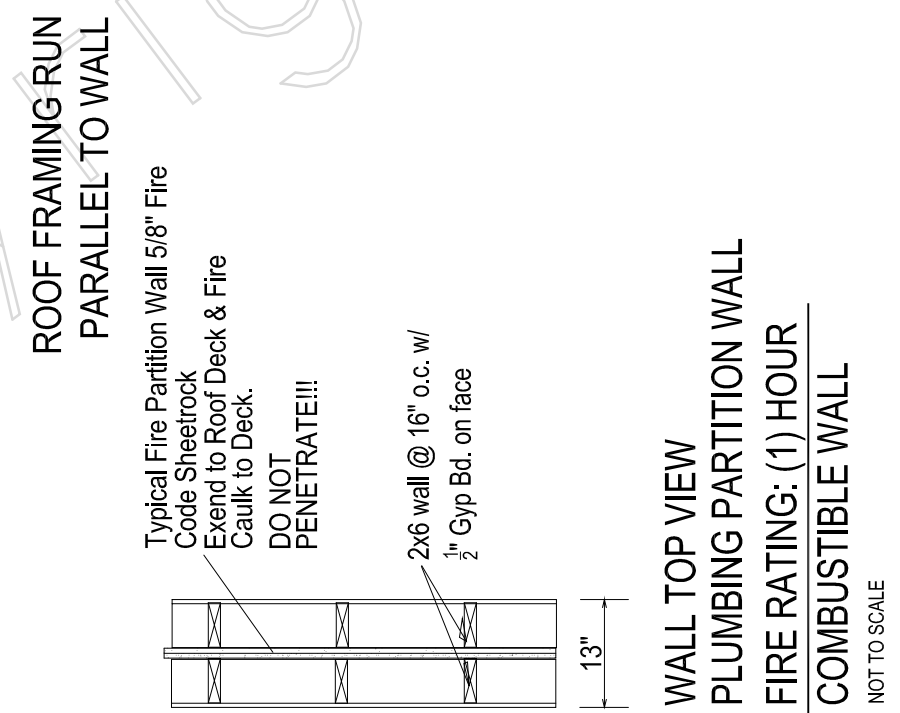
SQUARE FOOTAGE -- GRAND TOTAL  
563 HEATED FIRST FLOOR  
2442 HEATED SECOND FLOOR  
2475 HEATED THIRD FLOOR  
5480 TOTAL HEATED  
1855 CARPORT & STORAGE  
55 PORCH  
1950 TOTAL UNHEATED  
7430 TOTAL UNDER ROOF

NOTE:  
FOR DETAILED PLAN REFER TO  
LEGACY HOME PLANS LLC  
STONES RIVER 1.5  
FOR UNIT A  
OR  
0175-808-808-633  
STONES RIVER 2.5  
FOR UNIT B/C

Unit C

Unit B

Unit A



2-hour wall between units is required per IRC R302.2.2. This is noted elsewhere in this set.

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FOR

Brian Musser

PLAN NAME

Stones River 1.5 & 2.5

PLAN NO.

0175-808-808-633  
0213-826-859-648

SCALE

As Shown

DRAWN BY

OMA/SMY

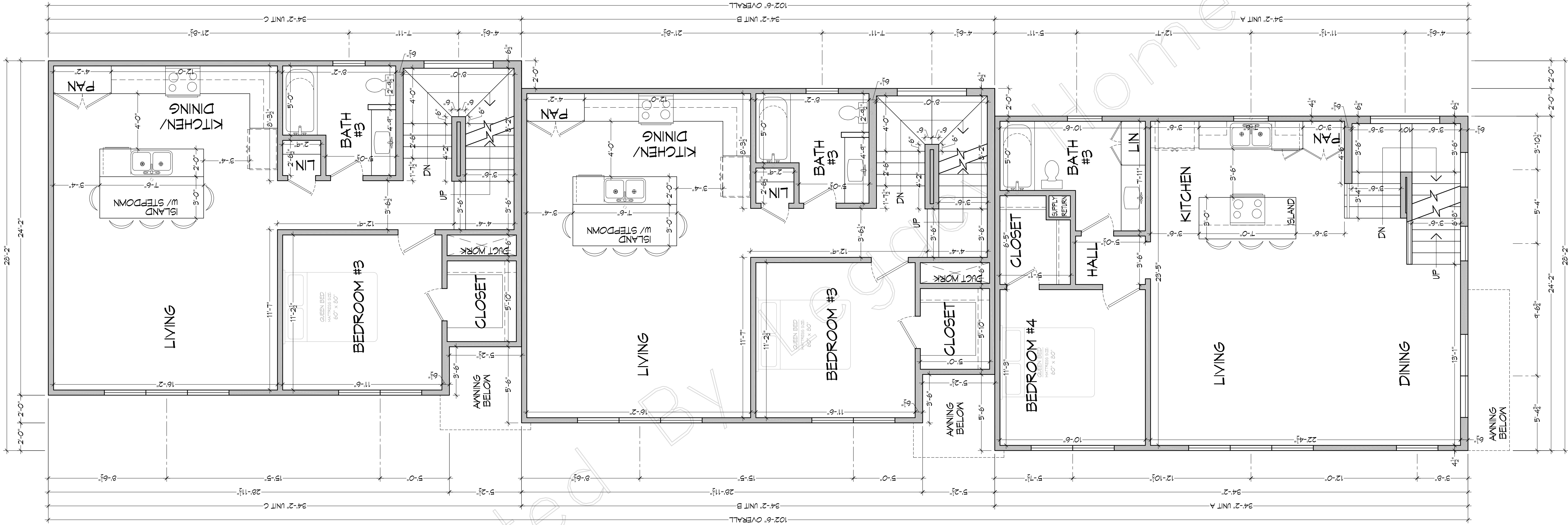
SHEET #

2

TRIPLEX



2nd Floor  
Combined



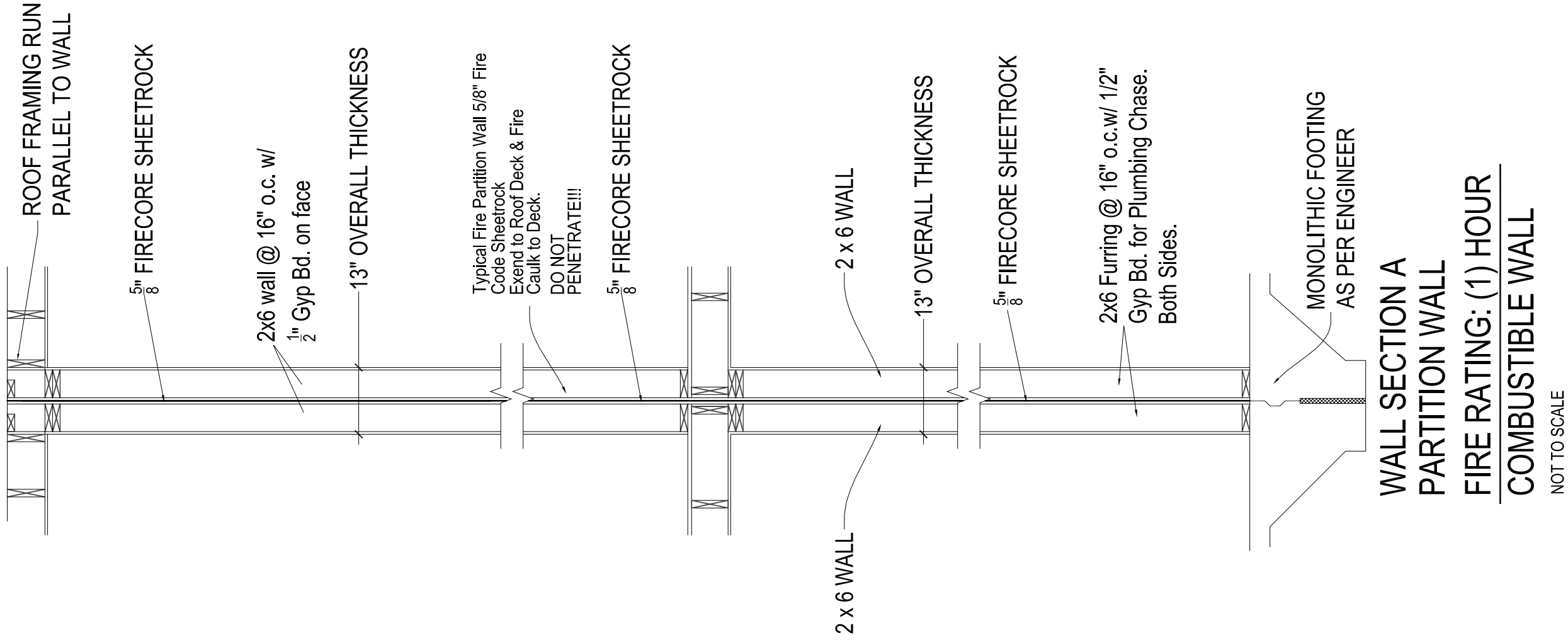
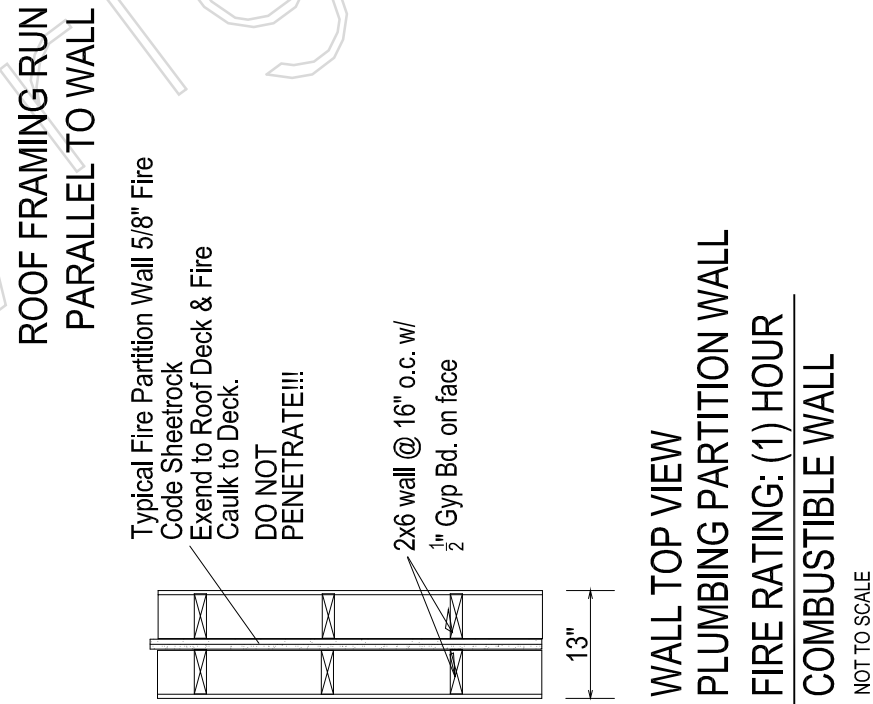
SECOND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
FOR DETAILED PLAN REFER TO  
LEGACY HOME PLANS, LLC  
STONES RIVER 1.5  
FOR UNIT A  
OR  
0175-808-808-633  
STONES RIVER 2.5  
FOR UNIT B & C

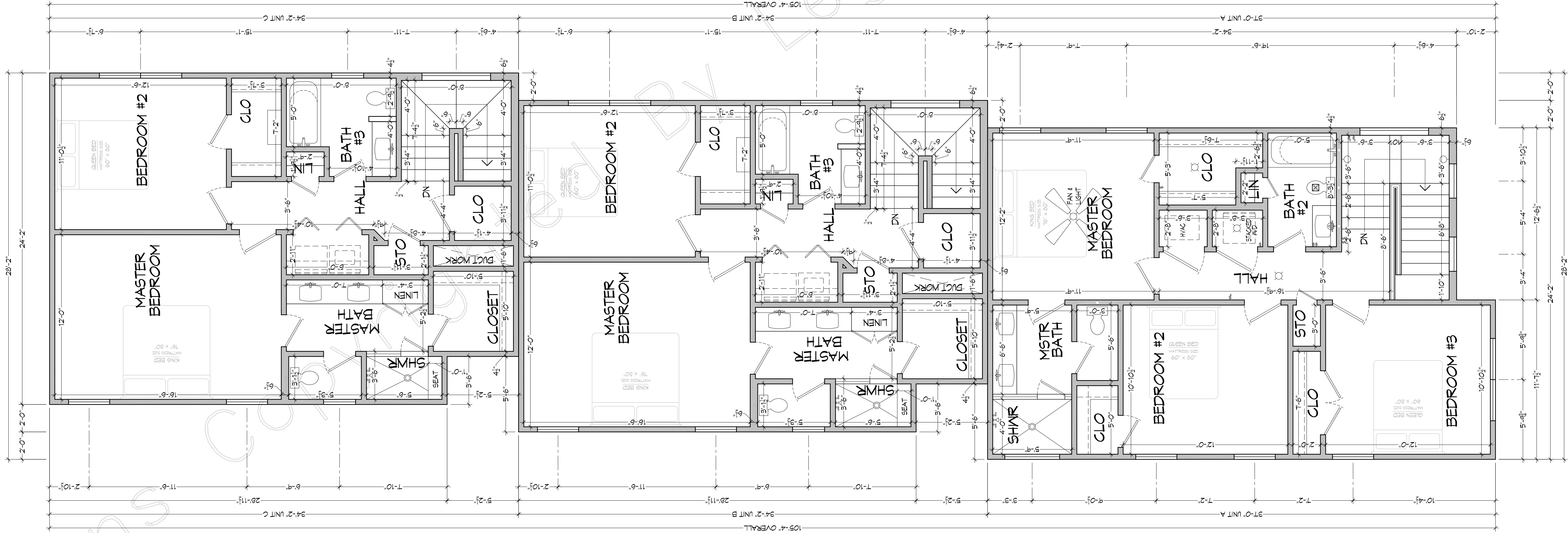
Unit C

Unit B

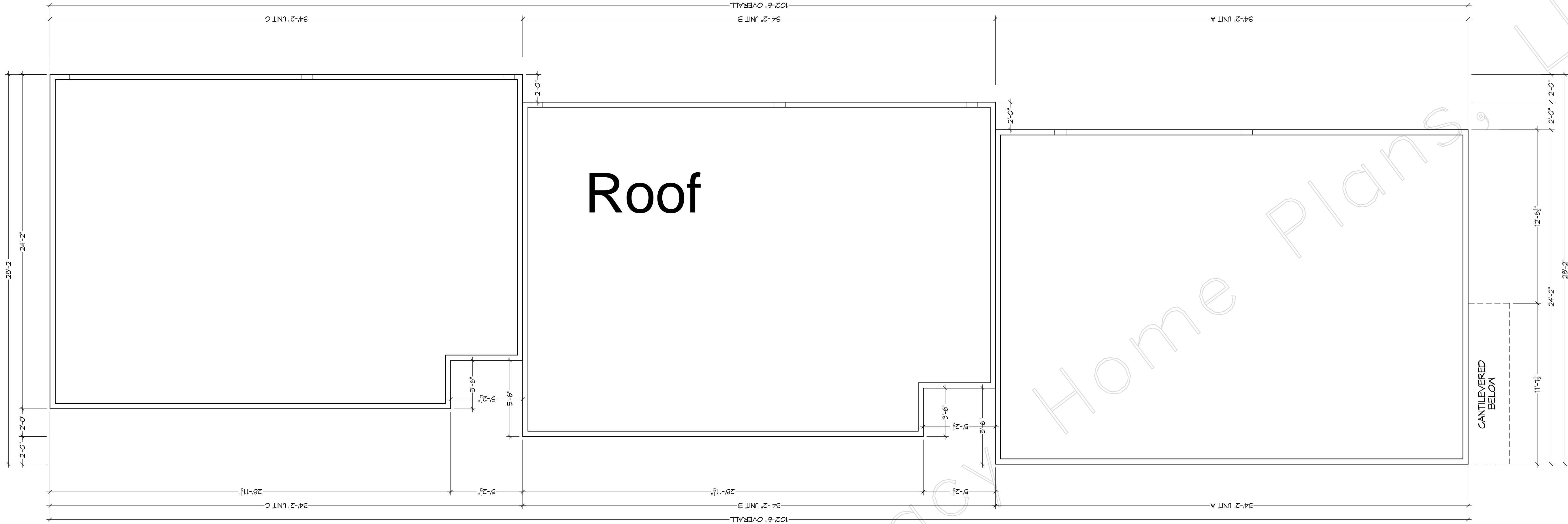
Unit A





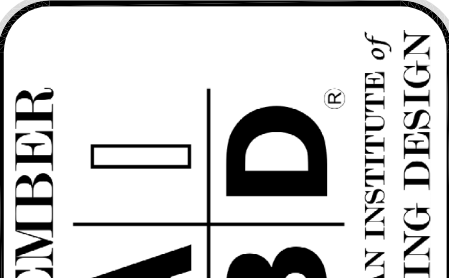


THIRD LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ROOF/MEZZANINE LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

# 3rd Floor Combined



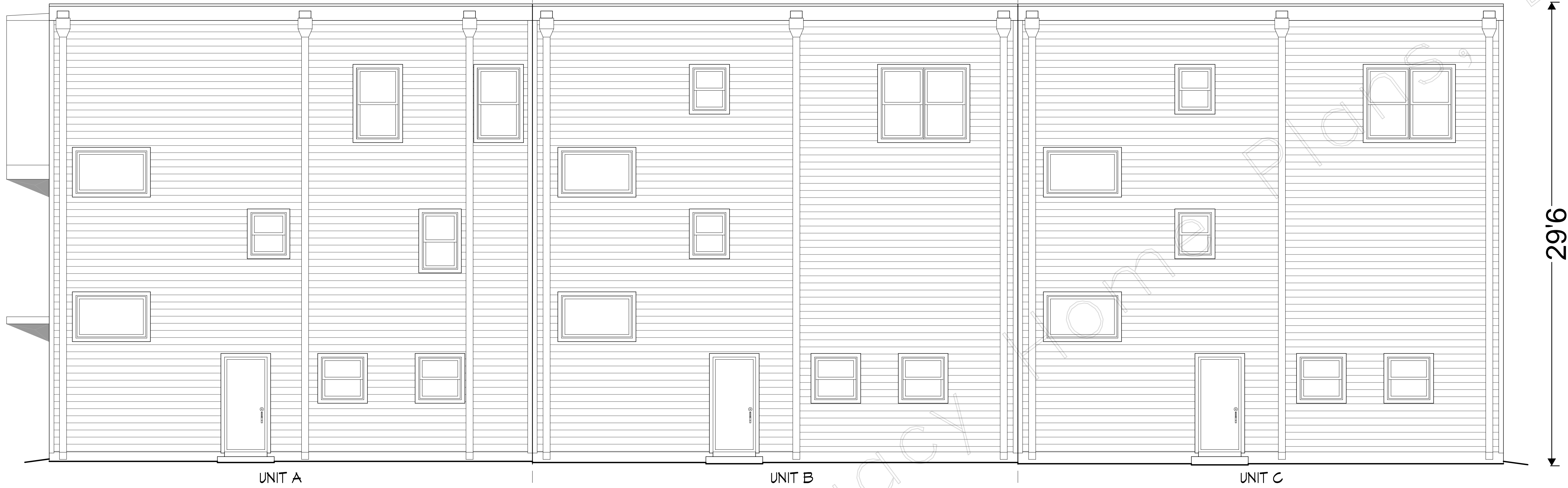
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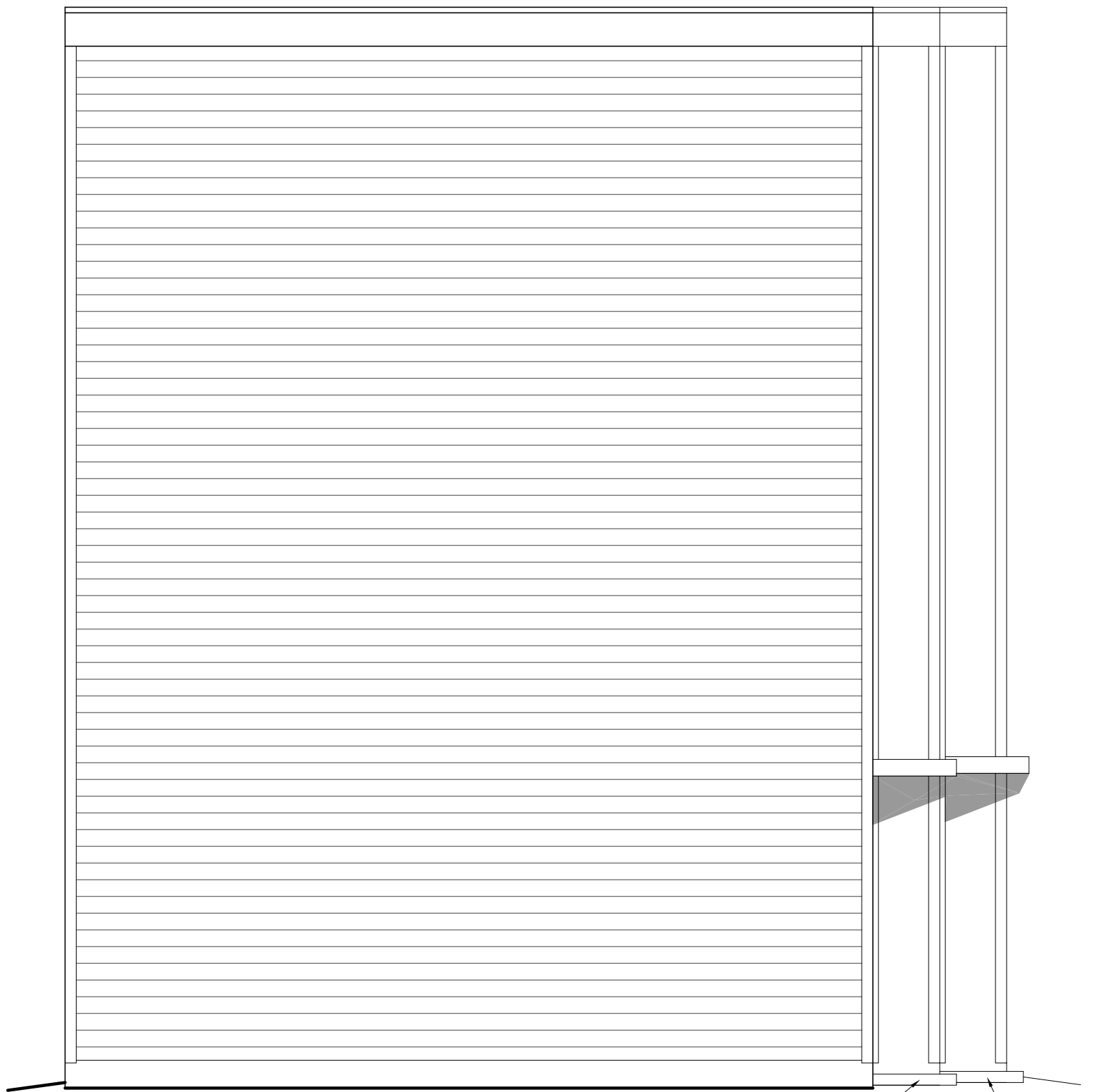
FOR	Brian Musser	SCALE	DATE	FILE
		As Shown	4-21-22	
PLAN NAME	Stones River 1.5 & 2.5	DRAWN BY	OMA/SMV	SHEET #
PLAN NO.	0175-808-808-633 0213-826-859-648			4





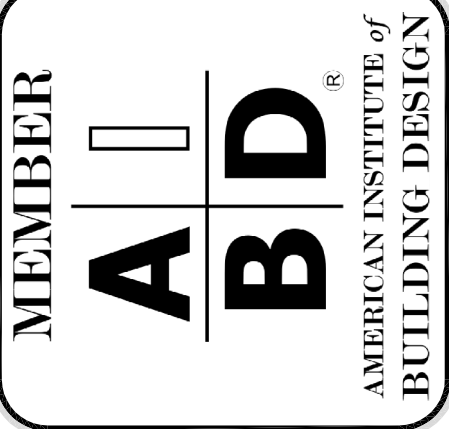


UNIT A  
UNIT B  
UNIT C  
SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



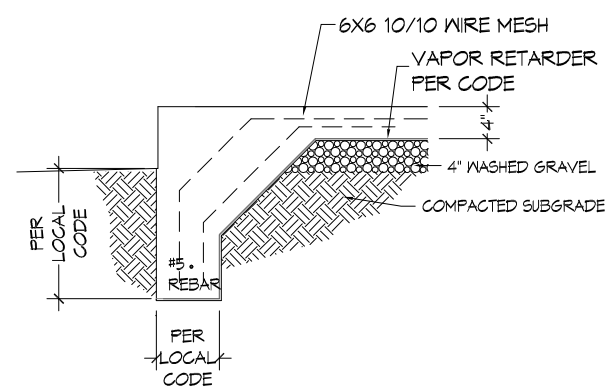
UNIT C  
UNIT B  
UNIT A  
EAST ELEVATION  
SCALE: 1/4"=1'-0"

NOTE:  
FOR DETAILED PLAN REFER TO  
0213-826-859-648  
Stones River 1.5  
FOR UNIT A  
OR  
0175-808-808-633  
Stones River 2.5  
FOR UNIT B & C

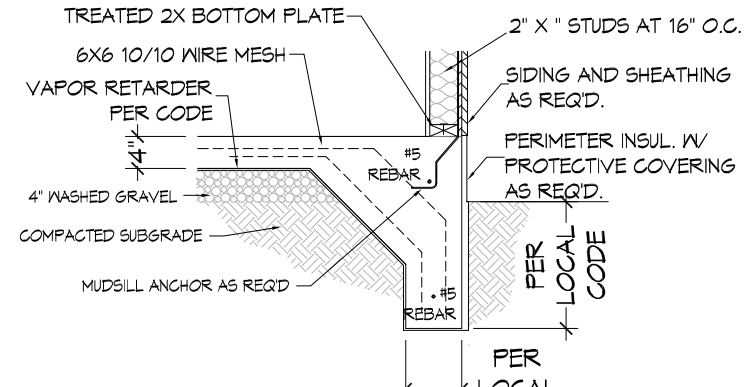


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OCCUR DURING CONSTRUCTION. THE BUILDER MUST  
VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE STARTING  
CONSTRUCTION. THESE PLANS MEET ALL  
REQUIREMENTS FOR ALL CONSTRUCTION.  
AN ENGINEER IS REQUIRED FOR ALL CONSTRUCTION.  
TOTAL LENGTH OF LEGACY HOME PLANS LLC NOT TO  
EXCEED THE LENGTH OF LEGACY HOME PLANS LLC

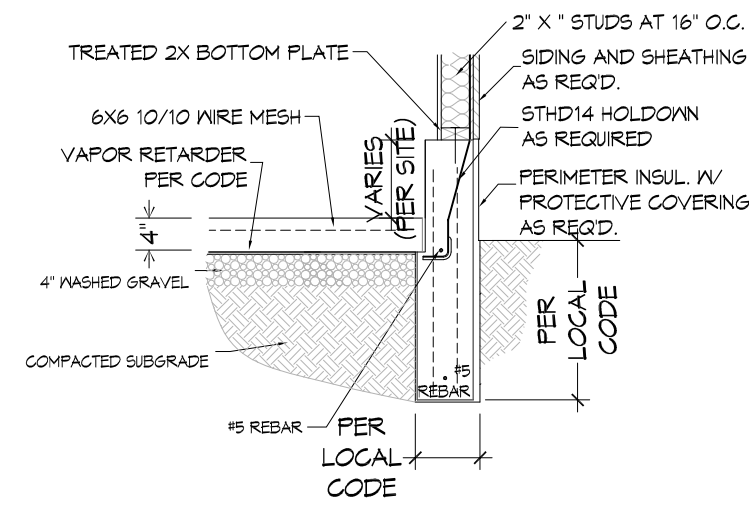
FOR	Brian Musser	SCALE	As Shown	DATE	4-21-22	FILE	
PLAN NAME	Stones River 1.5 & 2.5	DRAWN BY	OMA/SMY			SHEET #	7
PLAN NO.	0175-808-808-633 0213-826-859-648						
							TRIPLEX



TURNED DOWN FOOTING  
AT PORCH SLAB  
NOT TO SCALE



SLAB FOOTING  
NOT TO SCALE



GARAGE FOOTING  
NO SCALE

### FOUNDATION NOTES

FOUNDATION HAS BEEN DESIGNED BASED ON THE ASSUMED BEARING PRESSURE OF 1500 P.S.F. ALL FOOTINGS MUST BEAR ON NATURAL UNDISTURBED SOIL AND MUST EXTEND A MINIMUM OF 13 INCHES BELOW NATURAL GRADE.

THE SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE OWNER'S OR CONTRACTOR'S SOIL ENGINEER.

ALL EARTH FILL SHALL BE GOOD SOIL CAPABLE OF BEING THOROUGHLY COMPACTED. BEFORE DEPOSITING FILL, THE SITE SHALL BE COMPLETELY CLEARED OF ALL VEGETATION, DEBRIS, TRASH, RUBBLE OR OTHER UNSOUND MATERIAL. FILL MATERIALS SHALL BE DEPOSITED ONLY IN THIN LAYERS OF 4 TO 6 INCHES AND COMPACTED AT OPTIMUM MOISTURE CONTENT. DAMP NOT WET SAND MAY BE USED.

SLABS ON GRADE SHALL BE MIN. 4 INCHES IN THICKNESS, REINFORCED WITH 6X6 10-10 WIRE MESH WITH ONE LAYER OF 6 MIL VISQUEEN. LAP MESH ONE MESH SPACE ON ALL SIDES.

REINFORCING BARS TO BE DEFORMED BARS, GRADE 60.

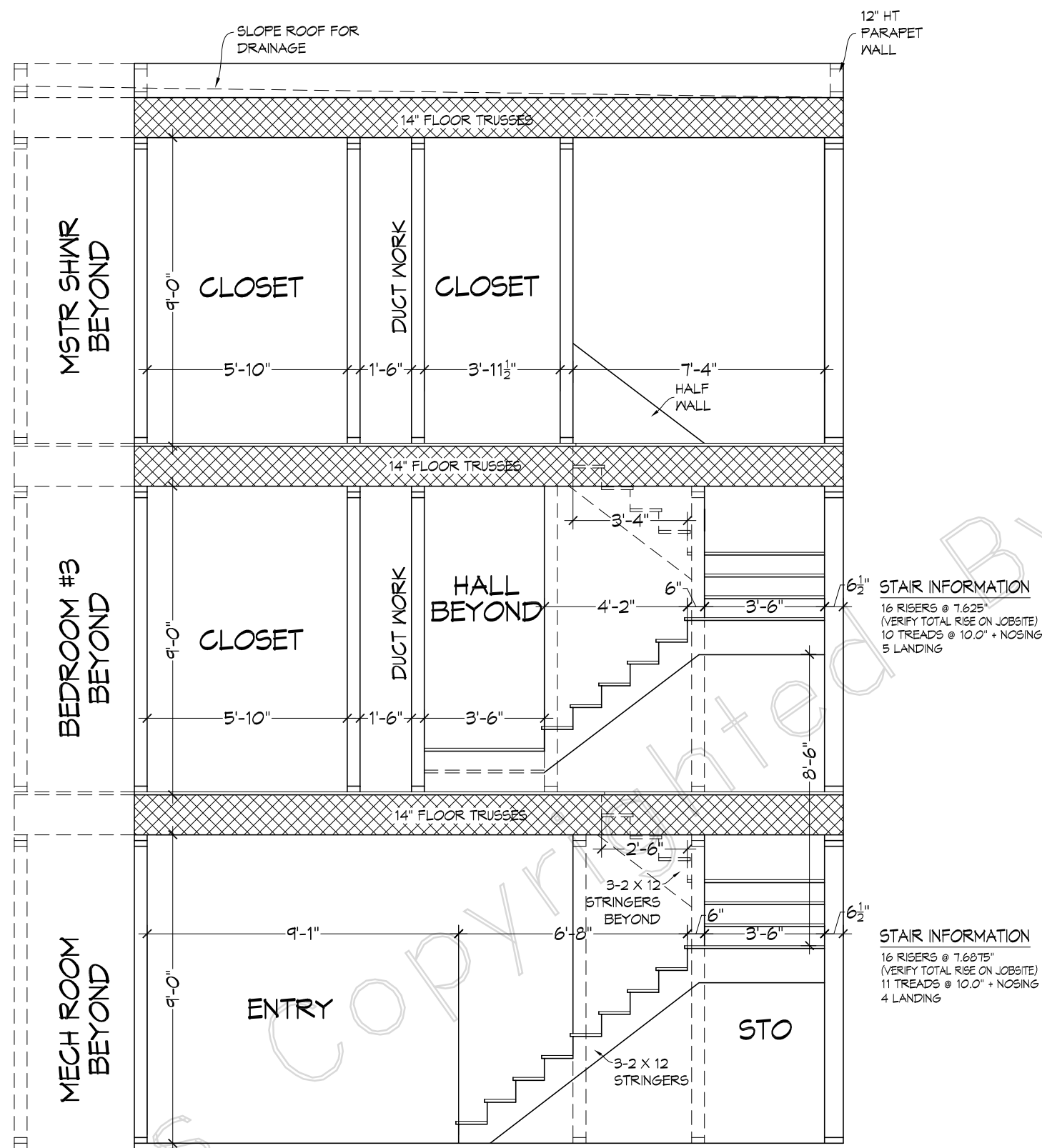
LAP ALL REINFORCING STEEL 24 BAR DIAMETERS OR A MINIMUM OF 18 INCHES UNLESS NOTED OTHERWISE.

ALL REINFORCEMENT AND REINFORCING ACCESSORIES ARE TO BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. DETAILING MANUAL.

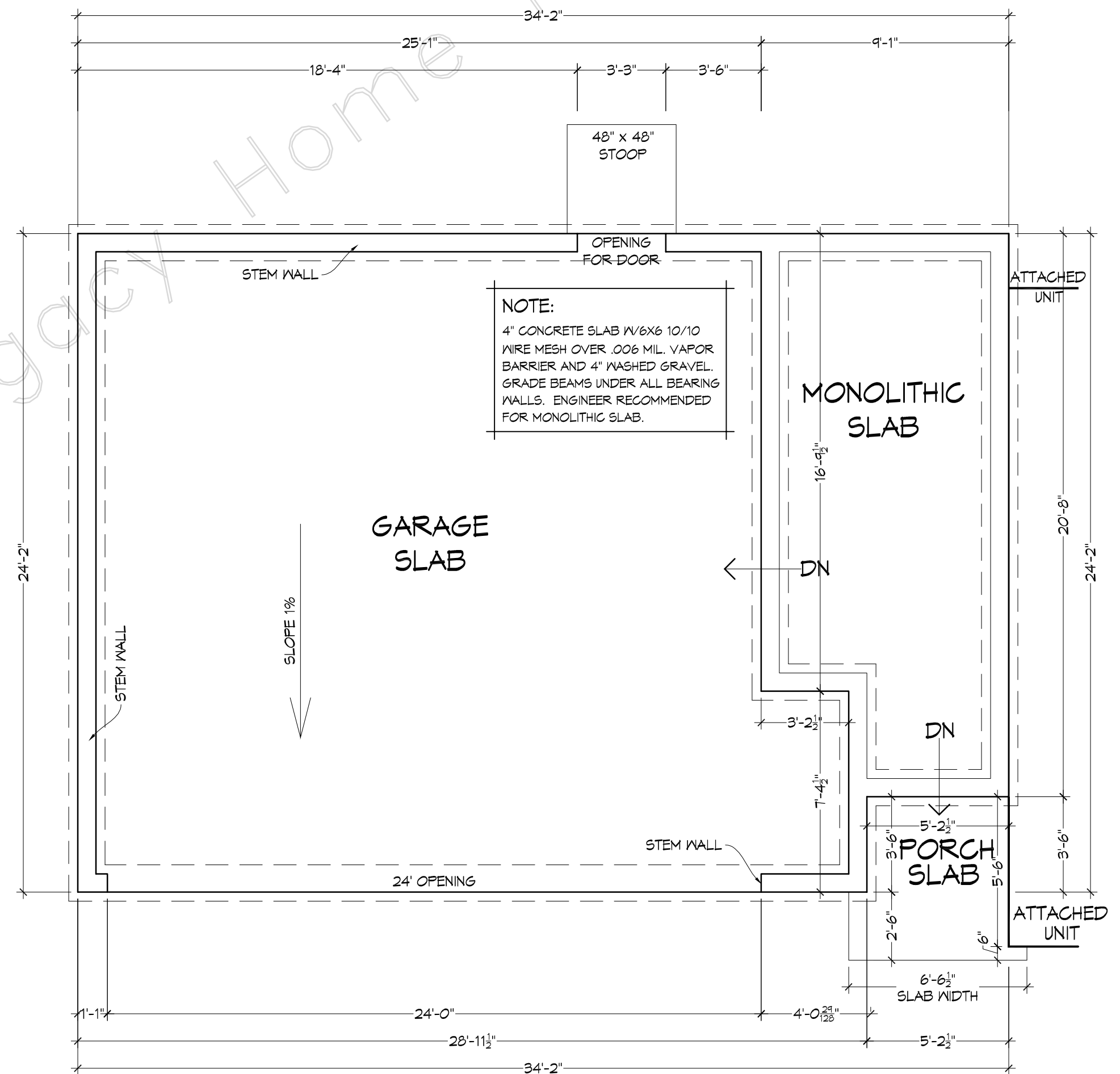
ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.

ALL CONCRETE, FORMS, REBAR AND WELDED WIRE FABRIC SHALL COMPLY WITH LOCAL CODES.

ALL STRUCTURAL INFORMATION IS SHOWN FOR REFERENCE ONLY. IT IS RECOMMENDED THAT A REGISTERED ENGINEER REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS ACCORDINGLY.



SECTION THROUGH STAIRS  
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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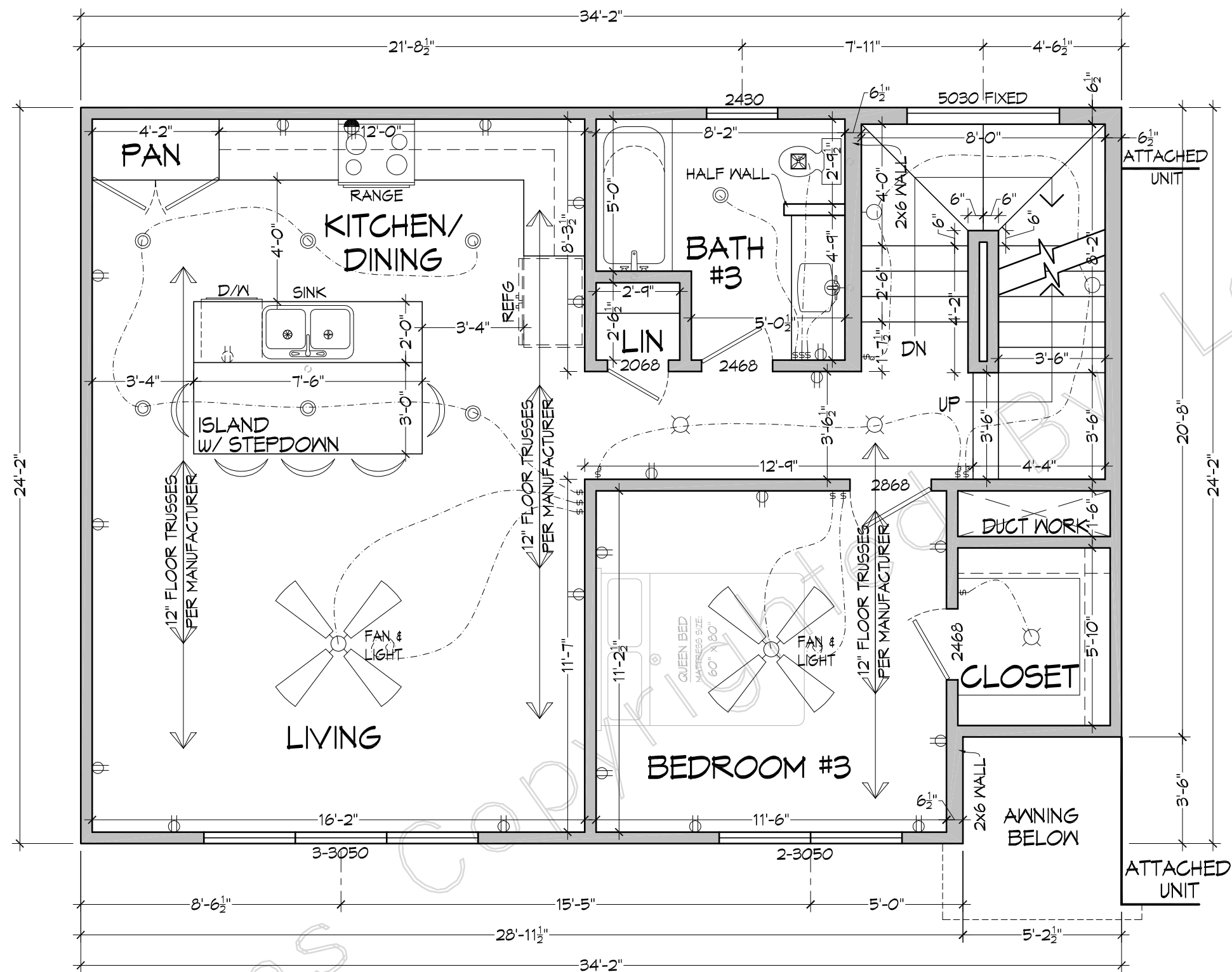
FOR  
PLAN NAME  
Stones River 2.5  
PLAN NO.  
0175-808-808-633

SCALE  
As Shown  
DRAWN BY  
OMA/SMV

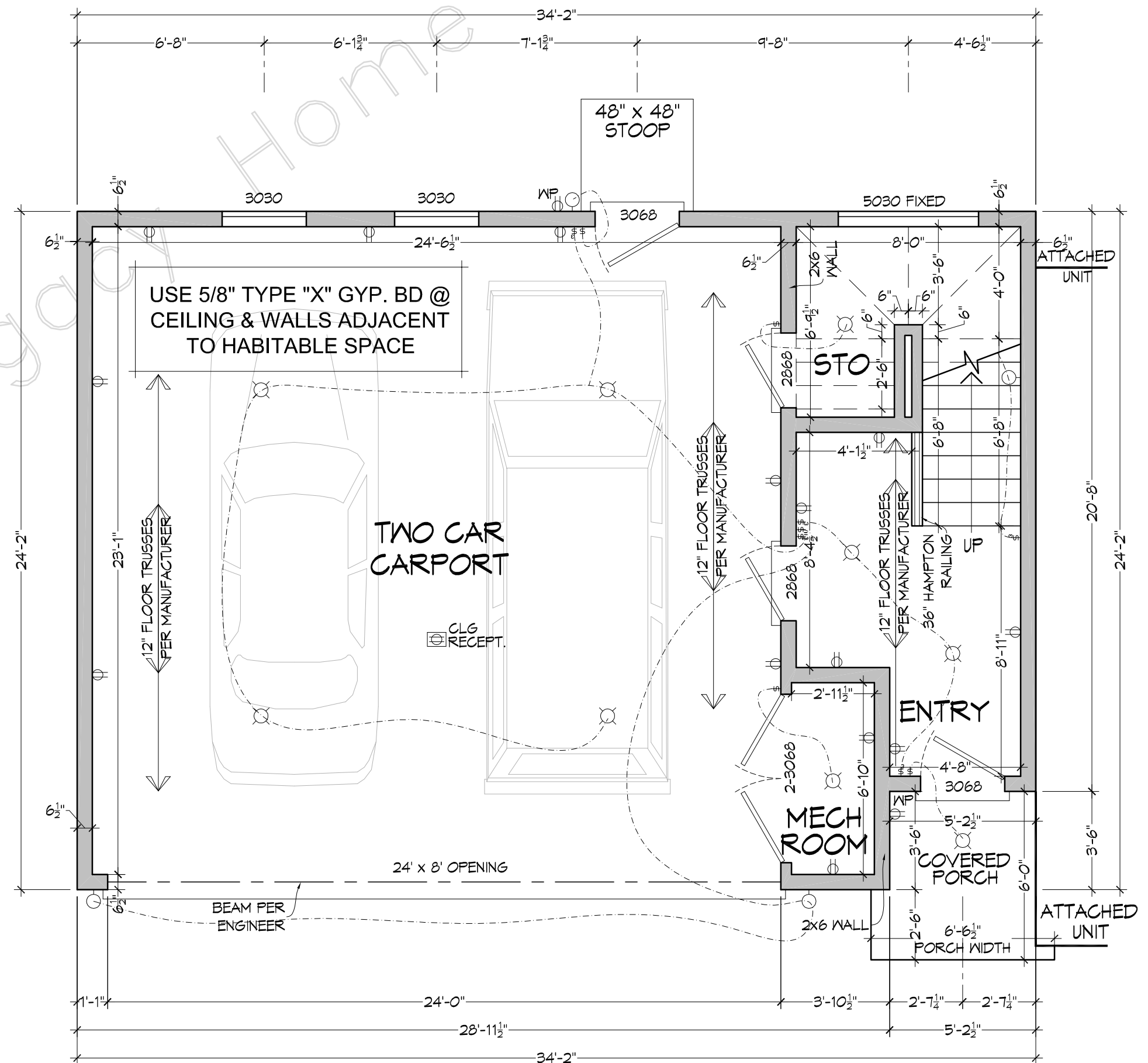
FILE  
DATE  
4-21-22

SHEET #  
1





SECOND LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

ALL EXT. WALLS ARE 6 1/2"  
UNLESS NOTED  
OTHERWISE

SQUARE FOOTAGE	
175	HEATED FIRST FLOOR
808	HEATED SECOND FLOOR
808	HEATED THIRD FLOOR
1791	TOTAL HEATED
633	CARPOT & STORAGE
633	TOTAL UNHEATED
2424	TOTAL UNDER ROOF

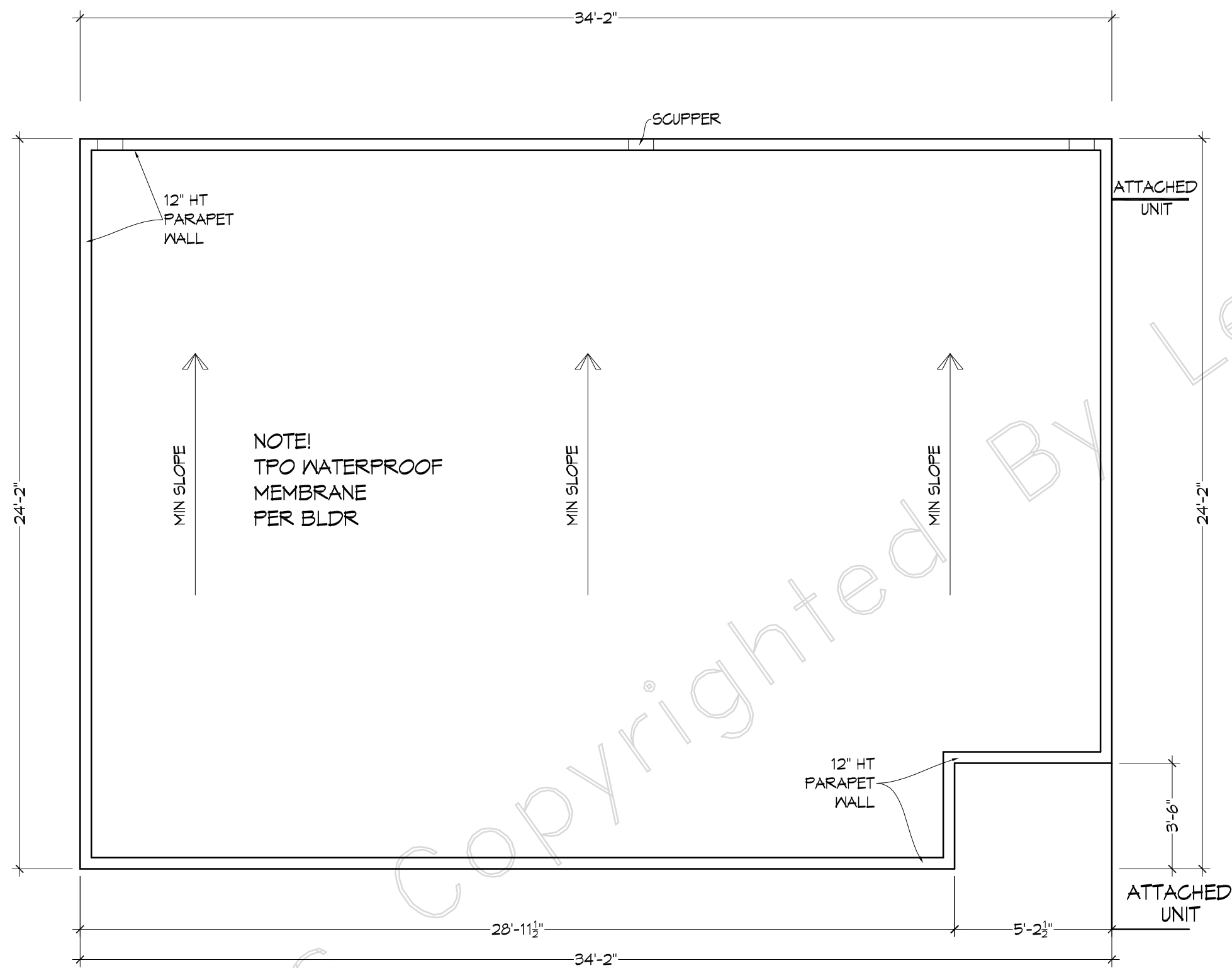
- ### GENERAL NOTES
- IT IS NOT THE INTENT OF THESE DOCUMENTS TO FULLY DETAIL ALL CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM ALL WORK WITHIN STANDARD CONSTRUCTION PRACTICES THAT ENSURES PROPER STRUCTURAL DETAILING AND SIZING. WEATHERPROOF DETAILING, AND QUALITY WORKMANSHIP. IT IS THE CONTRACTORS RESPONSIBILITY TO ENGAGE THE SERVICES OF QUALIFIED STRUCTURAL ENGINEERS TO REVIEW ALL NON-TYPICAL FOUNDATION OR FRAMING CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION SHALL MEET OR EXCEEDS ALL APPLICABLE CODES.
  - THIS PLAN HAS BEEN DESIGNED AS PER THE STANDARD BUILDING CODE. IT MUST BE CONSTRUCTED TO MEET THE MINIMUM SEISMIC REQUIREMENTS AS PER THE CODES DEPARTMENT WITH JURISDICTION. ALL JOIST AND RAFTERS HAVE BEEN SIZED BASED ON THE SOUTHERN PINE SPAN TABLES PROVIDED BY THE SOUTHERN PINE COUNCIL USING THE 2013 S.P.I.B. STANDARD GRADING RULES FOR NO.2 VISUALLY GRADED. SEE SIZING TABLE.
  - DIMENSIONS ARE FROM FACE OF SHEETROCK TO FACE OF SHEETROCK (4.5" OR 6.5"). BRICK VENEER SHOWN 5 INCHES FROM SHEATHING. WINDOW HEADER HEIGHT: 6 FEET-8 INCHES UNLESS OTHERWISE NOTED. ALL ANGLE WALLS ARE 45 DEGREES U.O.N. OR DIMENSIONED. ALL STUDS TO BE AT 16 INCHES ON CENTER U.O.N.
  - PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALLS. PROVIDE SOLID BRIDGING ON ALL FLOOR JOIST SPANS OVER 10 FEET AND AT INTERVALS NOT TO EXCEED 8 FEET. PROVIDE 2X4 STRONGBACKS AT 5 FEET ON CENTER WHEN JOIST OR PLYWOOD DECKING DOES NOT SPAN AND TIE RAFTER BEARING PLATES. HALF INCH PLYWOOD SUBFLOOR MAY BE SUBSTITUTED. PROVIDE FULL SOLID STUD BEARING UNDER ALL HEADERS AND BEAMS TO SOLID FOUNDATION BELOW.
  - ALL MANUFACTURED PRODUCTS, SYSTEMS OR APPLICATIONS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATION. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED ALL APPLICABLE CODES.
  - H.V.A.C. SUBCONTRACTOR SHALL COORDINATE COMPLETE SYSTEM REQUIREMENTS WITH SUPPLIER AND PROVIDE EQUIPMENT LAYOUT THAT MEETS LOCAL CLIMATE CONDITIONS AND BUILDING CODES.
  - THE ELECTRICAL EQUIPMENT SHOWN REPRESENTS CONCEPT ONLY AND THE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING OWNERS INTENT WITH SAFETY REQUIREMENTS AND COMPLYING WITH ALL APPLICABLE CODES.
  - ALL WOOD FRAMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. USE TREATED LUMBER AT ALL EXTERIOR PORCH DECK LOCATIONS.
  - TO MINIMIZE EXCESSIVE MOISTURE AND MOLD CONDITIONS, PROVIDE AN APPROVED VAPOR BARRIER UNDER FOOTINGS, SLABS, AND FLOOR JOISTS AT GROUND LEVEL. USE AN EXTERIOR SHEATHING WITH A SUFFICIENT PERM RATING ON ALL OUTSIDE WALLS. PROPERLY DESIGN AND SIZE HVAC SYSTEM AND INCLUDE A 10% FRESH AIR INTAKE.
  - ALL STANDARD, MINIMUM CODE CONNECTION AND FASTENING PRACTICES ARE TO BE ADHERED TO BY QUALIFIED FOUNDATION, FRAMING, DRYWALL, TRIM AND MASONRY CONTRACTORS.

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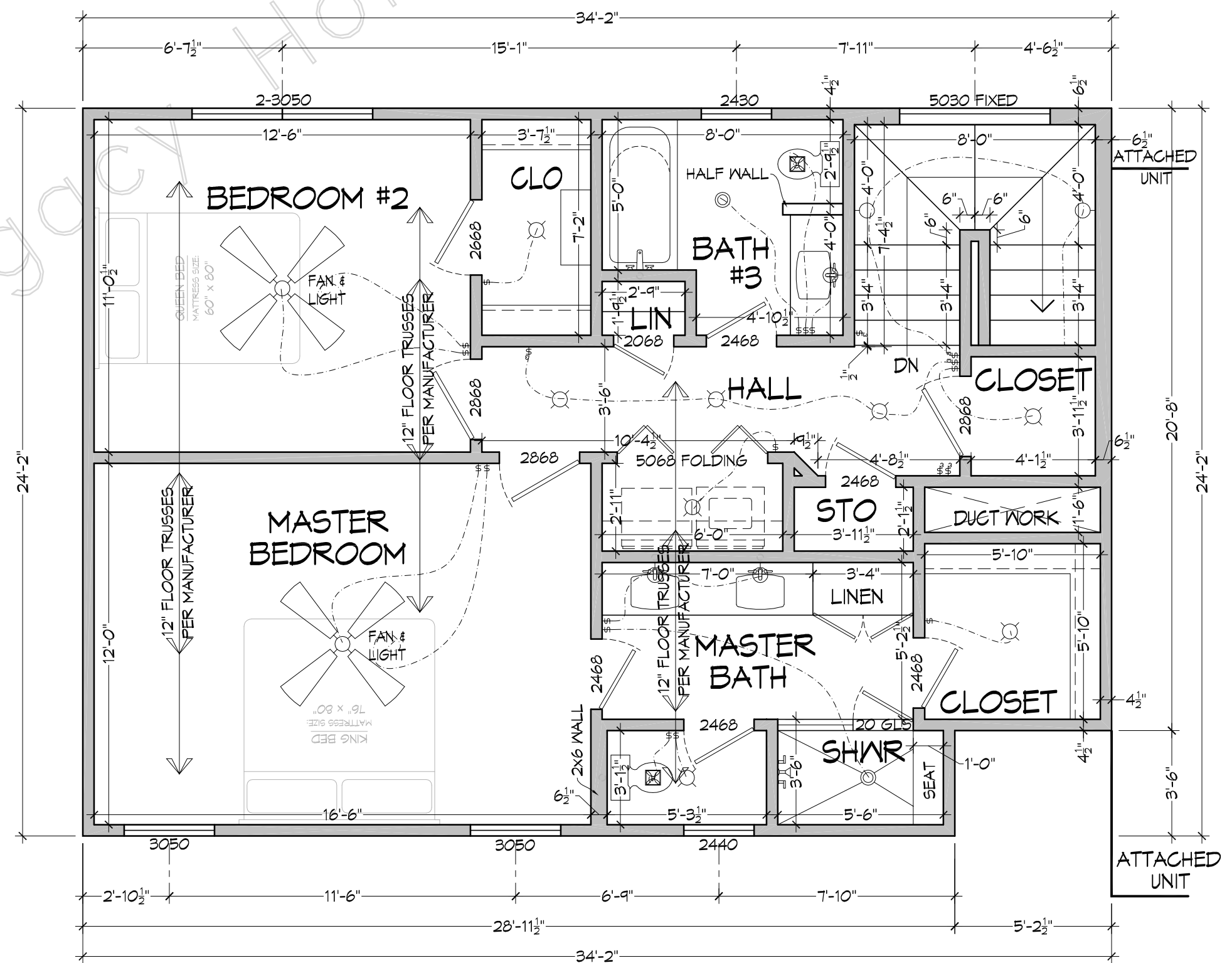
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PLAN NAME	As Shown	4-21-22	
PLAN NO.	DRAWN BY	DATE	SHEET #
Stones River 2.5	OMA/SMV		2
0175-808-808-633			



ROOF PLAN  
SCALE: 1/4" = 1'-0"



THIRD LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

# Units B & C

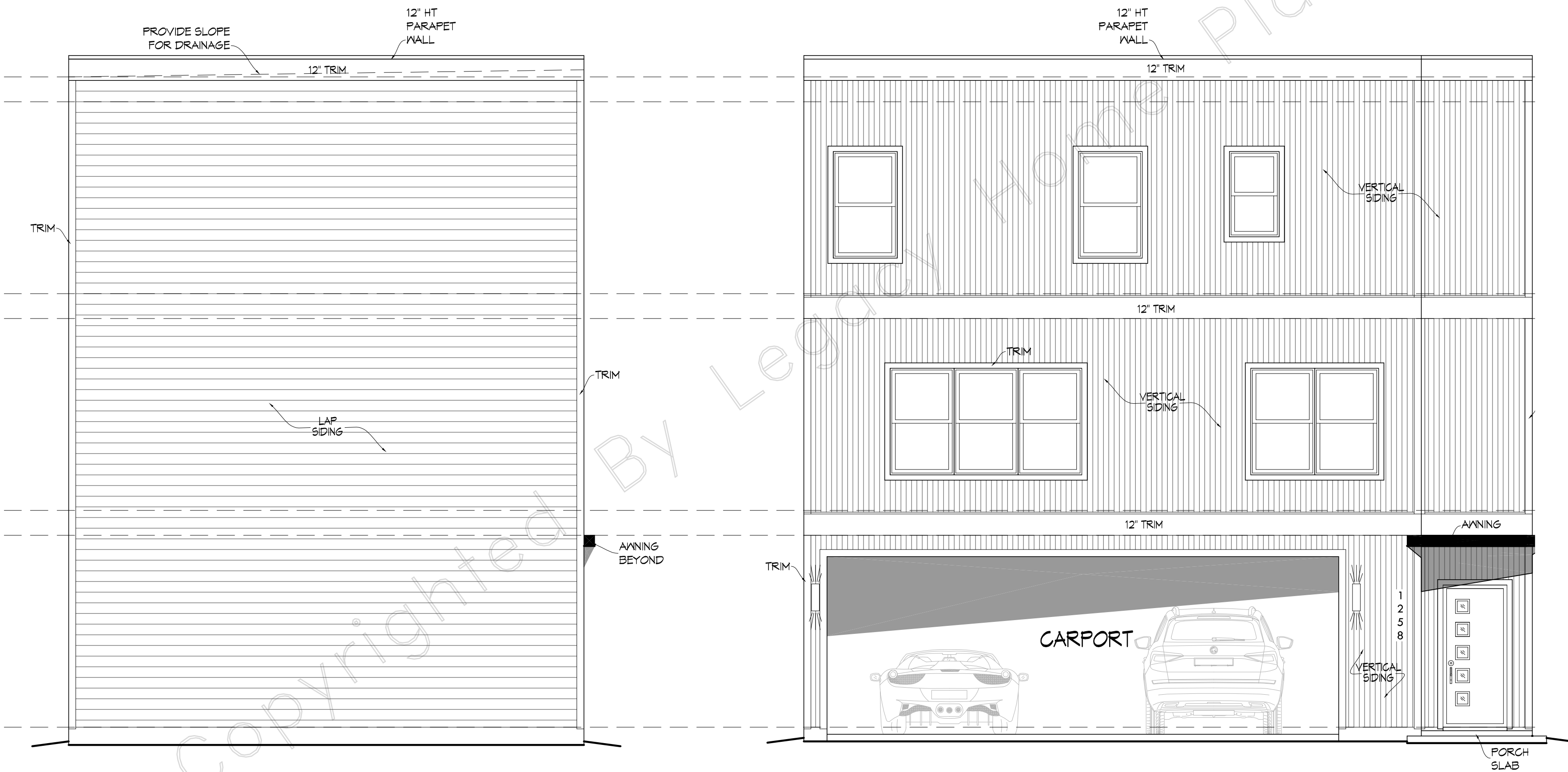
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FOR	SCALE	DATE	FILE
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PLAN NAME	DRAWN BY	OVA/SMV	
PLAN NO.			SHEET #
<b>0175-808-808-633</b>			<b>3</b>





LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

# Unit B & C

FOR	SCALE		DATE	FILE
	As Shown		4-21-22	
PLAN NAME		DRAWN BY		
Stones River 2.5		OMA/SMV		
PLAN NO.		4		
0175-808-808-633				

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EXIST. THE USER IS RESPONSIBLE FOR VERIFYING ALL  
MAY VARY WITH LOCATION AND CHANGE FROM TIME TO TIME.  
AND BE RESPONSIBLE FOR ALL DETAILS AND DIMENSIONS, AND  
ALL CONSTRUCTION TOTAL LIABILITY OF LEGACY HOME PLANS  
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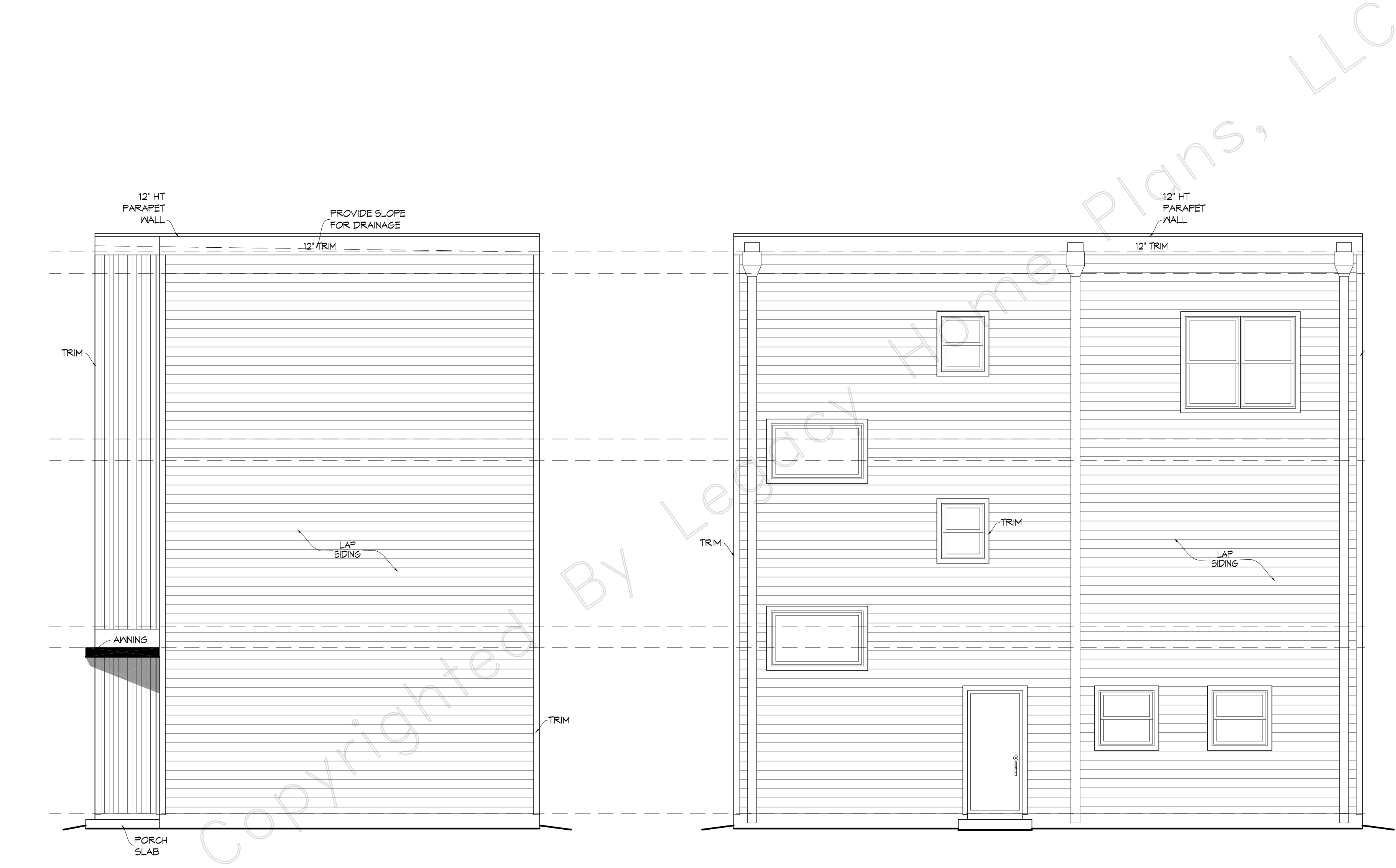


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RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

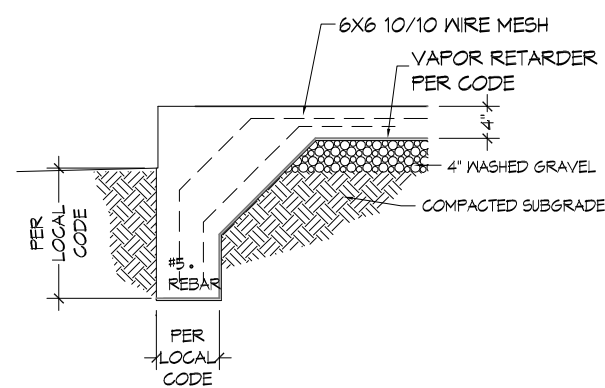
REAR ELEVATION  
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# Unit B & C

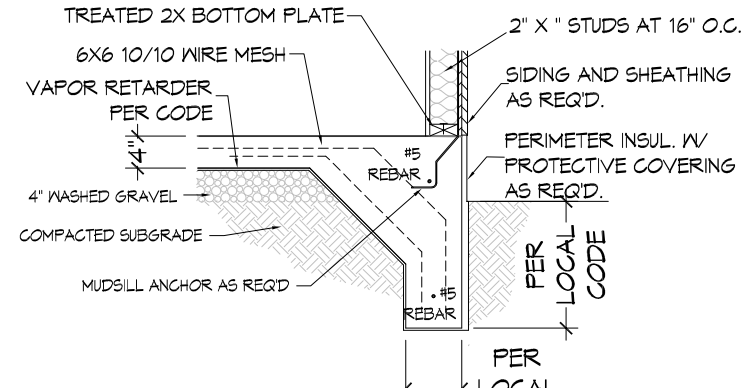


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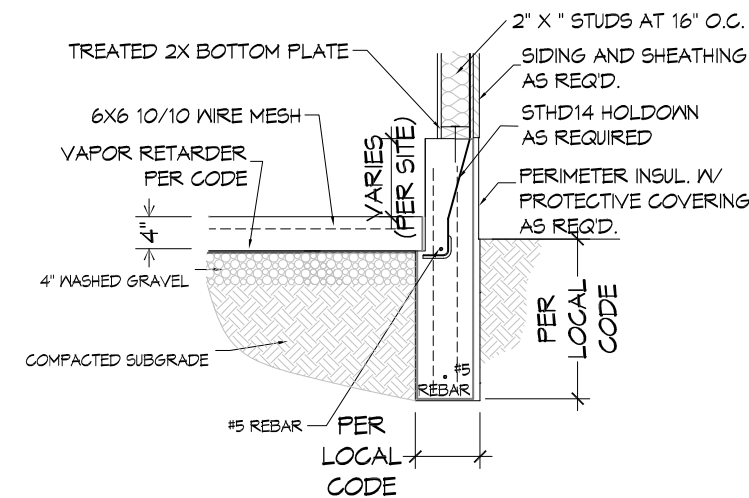
FOR	SCALE	DATE	FILE
	As Shown	4-21-22	
PLAN NAME	DRAWN BY	SHEET #	
Stones River 2.5	OMA/SMV	5	
PLAN NO.	0175-808-808-633		



TURNED DOWN FOOTING  
AT PORCH SLAB  
NOT TO SCALE



SLAB FOOTING  
NOT TO SCALE



GARAGE FOOTING  
NO SCALE

### FOUNDATION NOTES

FOUNDATION HAS BEEN DESIGNED BASED ON THE ASSUMED BEARING PRESSURE OF 1500 P.S.F. ALL FOOTINGS MUST BEAR ON NATURAL UNDISTURBED SOIL AND MUST EXTEND A MINIMUM OF 13 INCHES BELOW NATURAL GRADE.

THE SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE OWNER'S OR CONTRACTOR'S SOIL ENGINEER.

ALL EARTH FILL SHALL BE GOOD SOIL CAPABLE OF BEING THOROUGHLY COMPACTED. BEFORE DEPOSITING FILL, THE SITE SHALL BE COMPLETELY CLEARED OF ALL VEGETATION, DEBRIS, TRASH, RUBBLE OR OTHER UNSOUND MATERIAL. FILL MATERIALS SHALL BE DEPOSITED ONLY IN THIN LAYERS OF 4 TO 6 INCHES AND COMPACTED AT OPTIMUM MOISTURE CONTENT. DAMP NOT WET SAND MAY BE USED.

SLABS ON GRADE SHALL BE MIN. 4 INCHES IN THICKNESS, REINFORCED WITH 6X6 10-10 WIRE MESH WITH ONE LAYER OF 6 MIL VISQUEEN. LAP MESH ONE MESH SPACE ON ALL SIDES.

REINFORCING BARS TO BE DEFORMED BARS, GRADE 60.

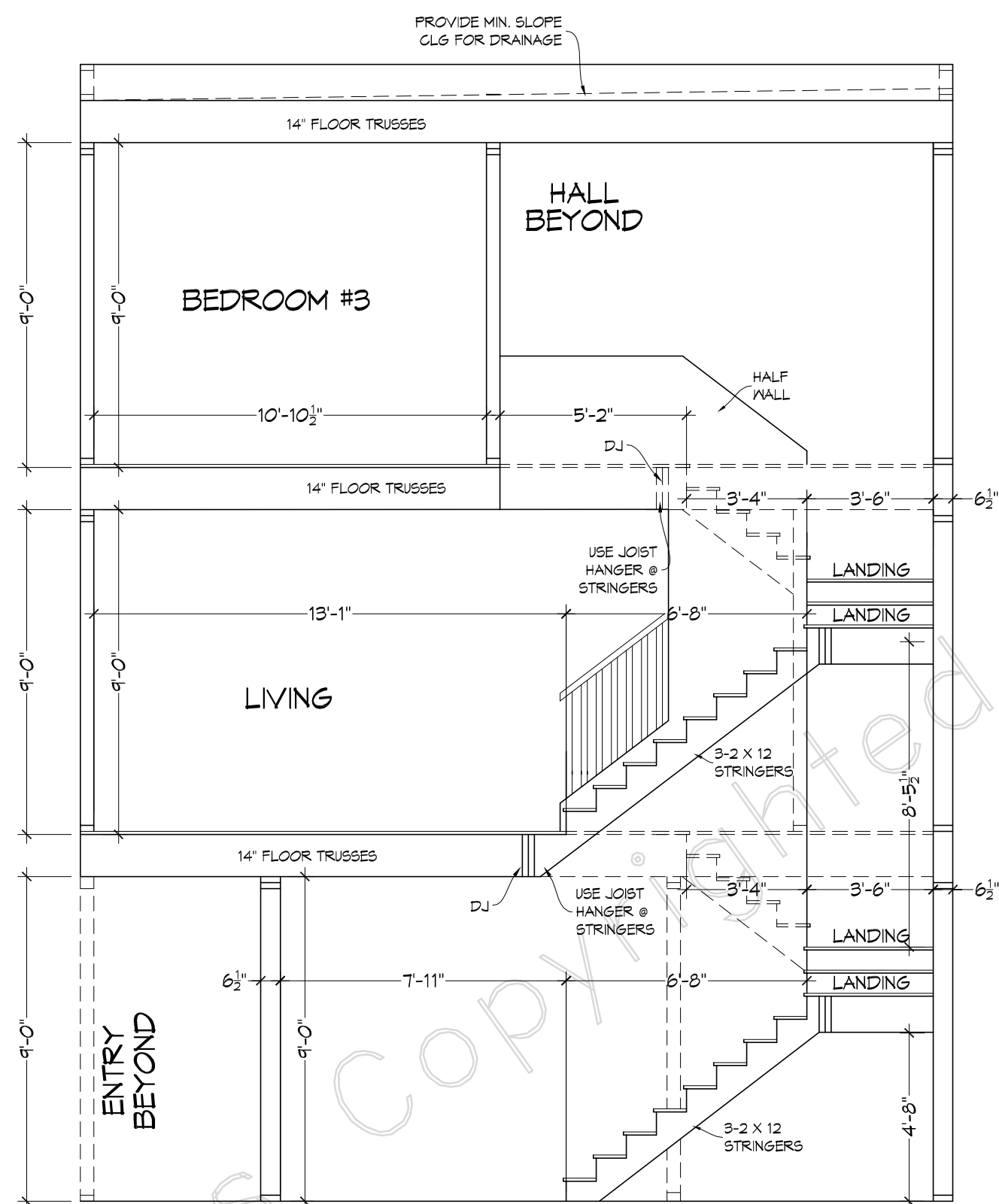
LAP ALL REINFORCING STEEL 24 BAR DIAMETERS OR A MINIMUM OF 18 INCHES UNLESS NOTED OTHERWISE.

ALL REINFORCEMENT AND REINFORCING ACCESSORIES ARE TO BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. DETAILING MANUAL.

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.

ALL CONCRETE, FORMS, REBAR AND WELDED WIRE FABRIC SHALL COMPLY WITH LOCAL CODES.

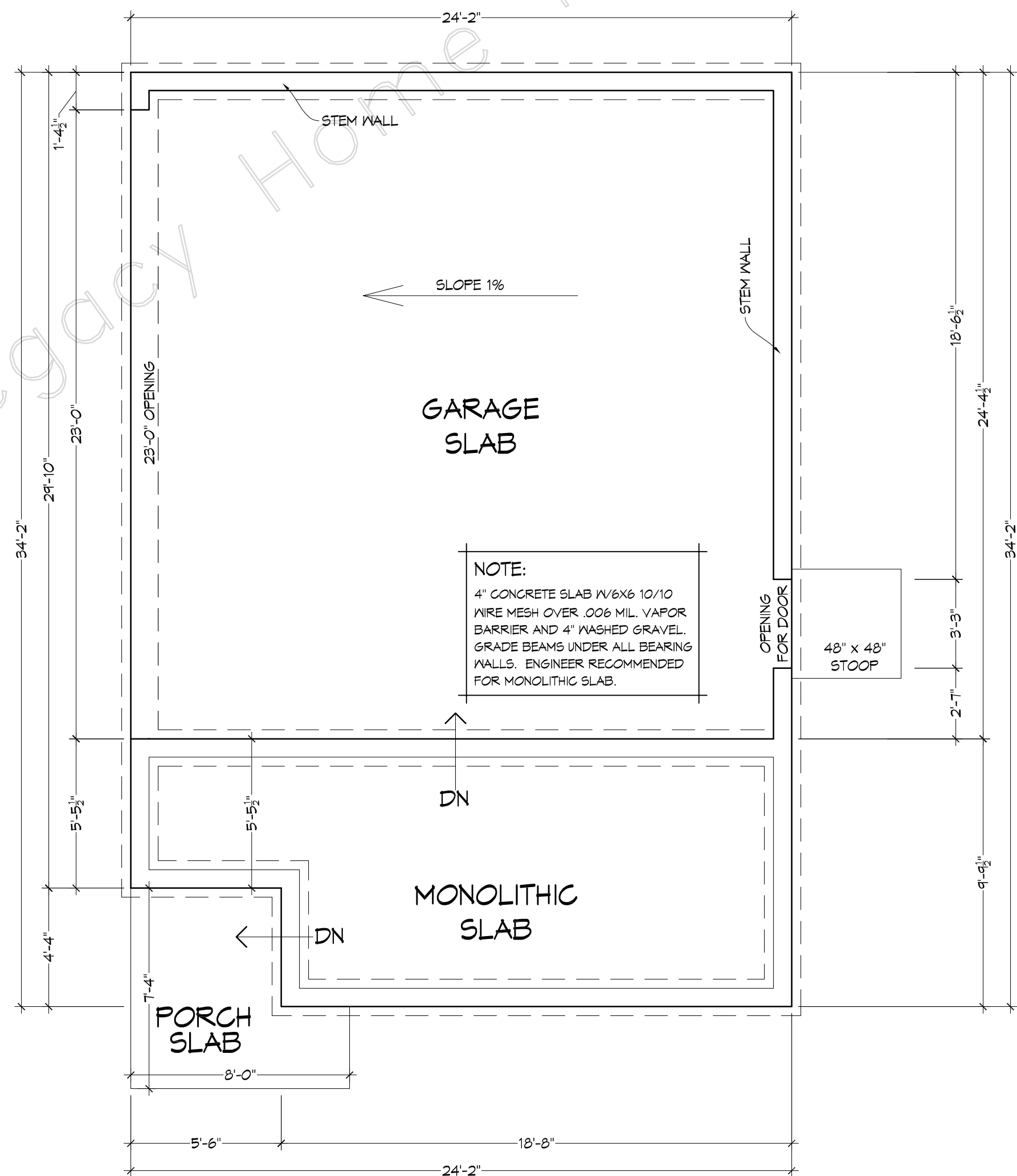
ALL STRUCTURAL INFORMATION IS SHOWN FOR REFERENCE ONLY. IT IS RECOMMENDED THAT A REGISTERED ENGINEER REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS ACCORDINGLY.



SECTION THROUGH STAIRS  
SCALE: 1/4" = 1'-0"

STAIR INFORMATION  
16 RISERS @ 7.625"  
(VERIFY TOTAL RISE ON JOBSITE)  
13 TREADS @ 10.0" + NOSING  
2 LANDING 36" x 36"

STAIR INFORMATION  
16 RISERS @ 7.625"  
(VERIFY TOTAL RISE ON JOBSITE)  
13 TREADS @ 10.0" + NOSING  
2 LANDING 36" x 36"



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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PLANS YOU CAN BUILD YOUR LEGACY ON!  
www.LegacyHomePlans.com BARTLETT, TENNESSEE (601)754-9874

MEMBER  
A B D  
AMERICAN INSTITUTE OF  
BUILDING DESIGN

FOR  
PLAN NAME  
Stones River 1.5  
PLAN NO.  
0213-826-859-648

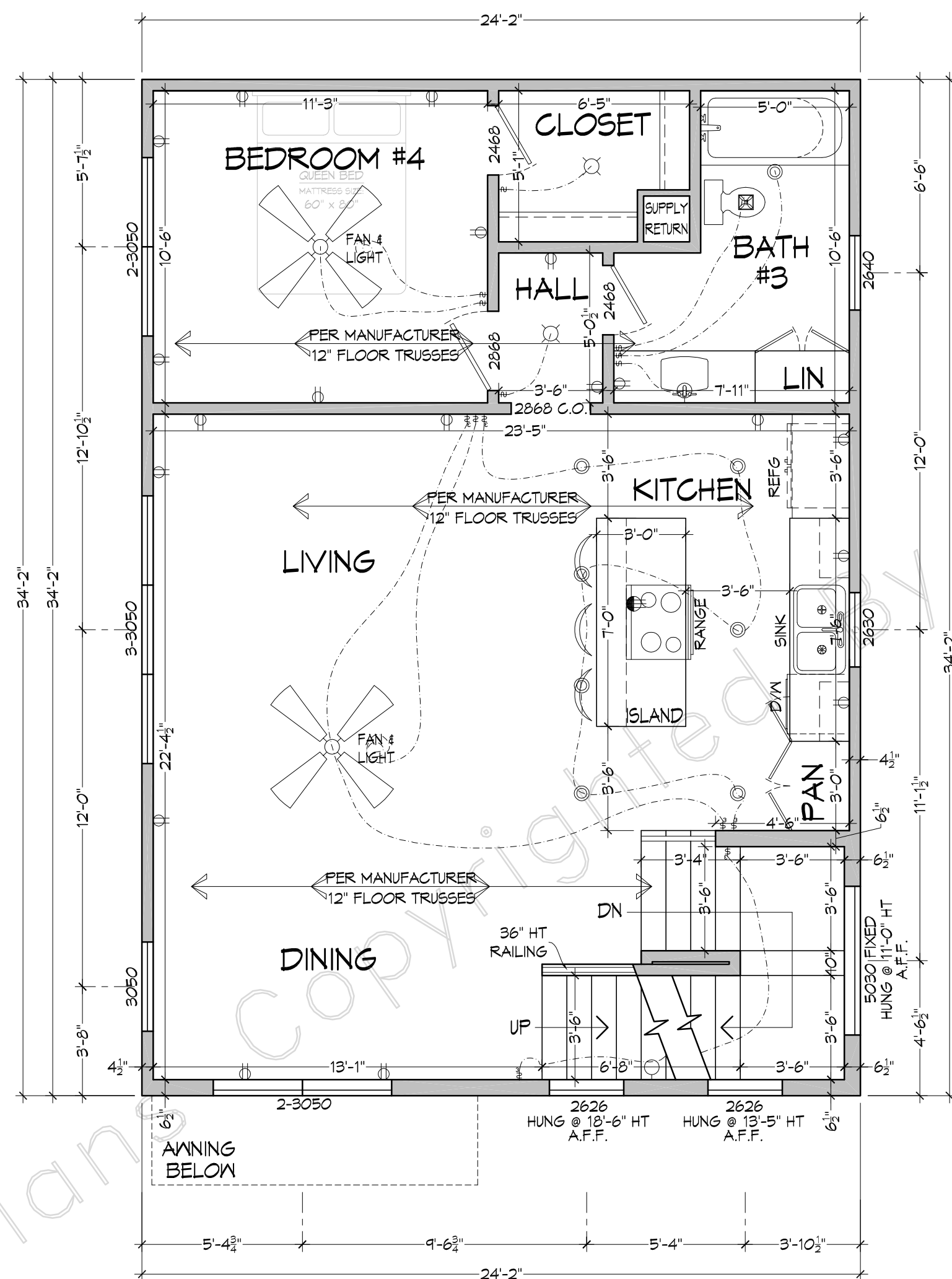
SCALE  
As Shown  
DRAWN BY  
OMA/SMV

FILE  
DATE  
4-21-22

SHEET #

1

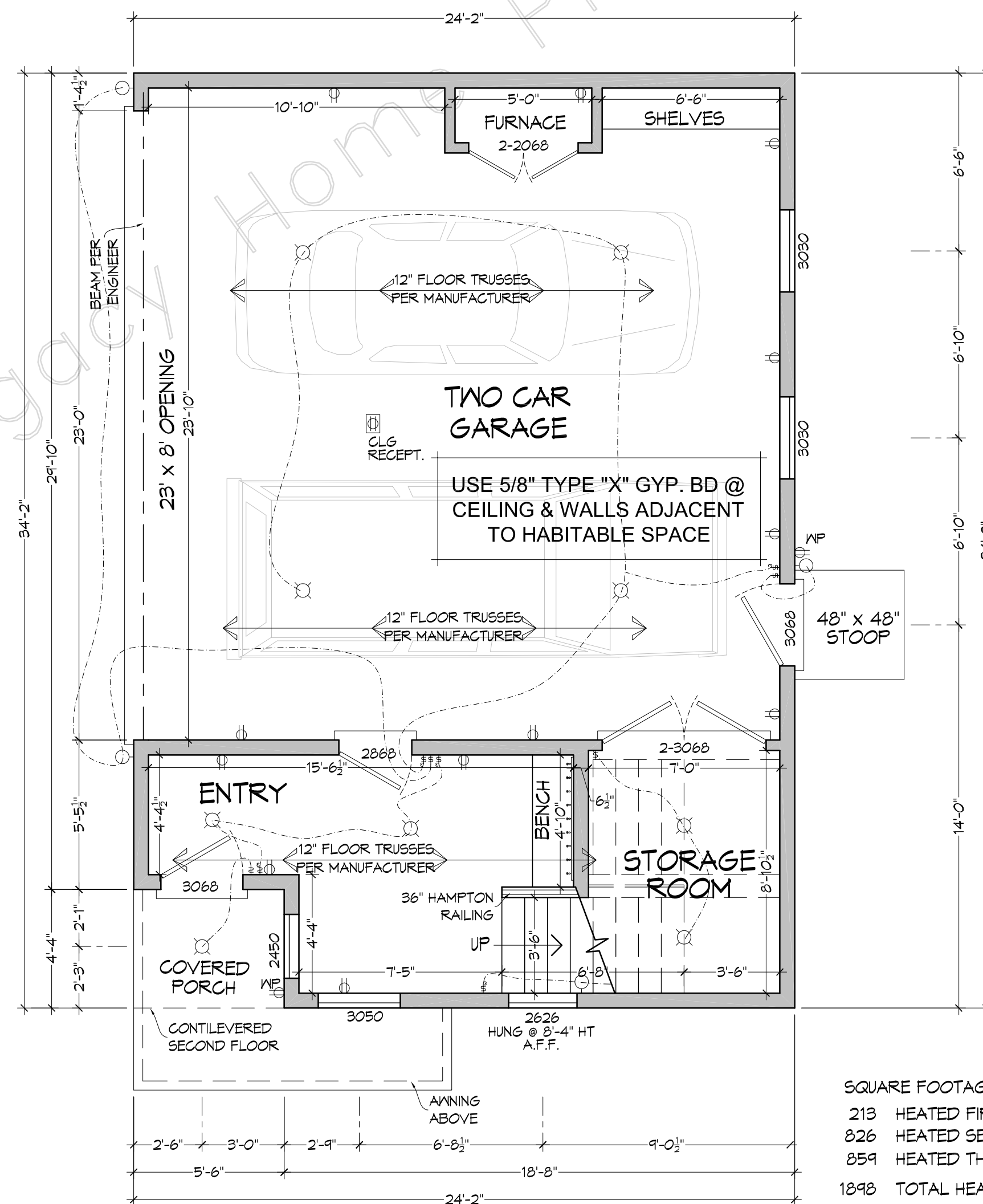




# Unit A

## GENERAL NOTES

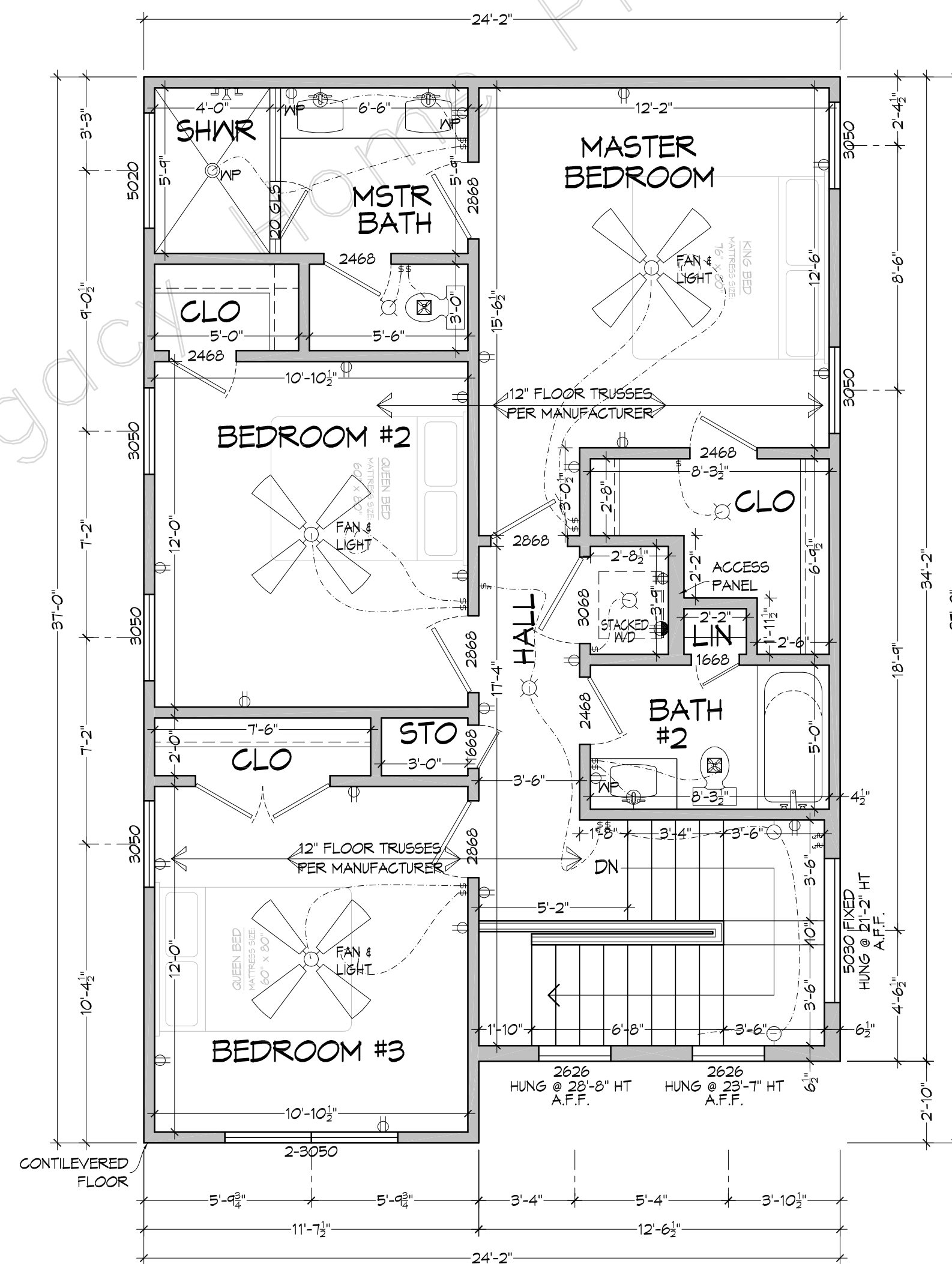
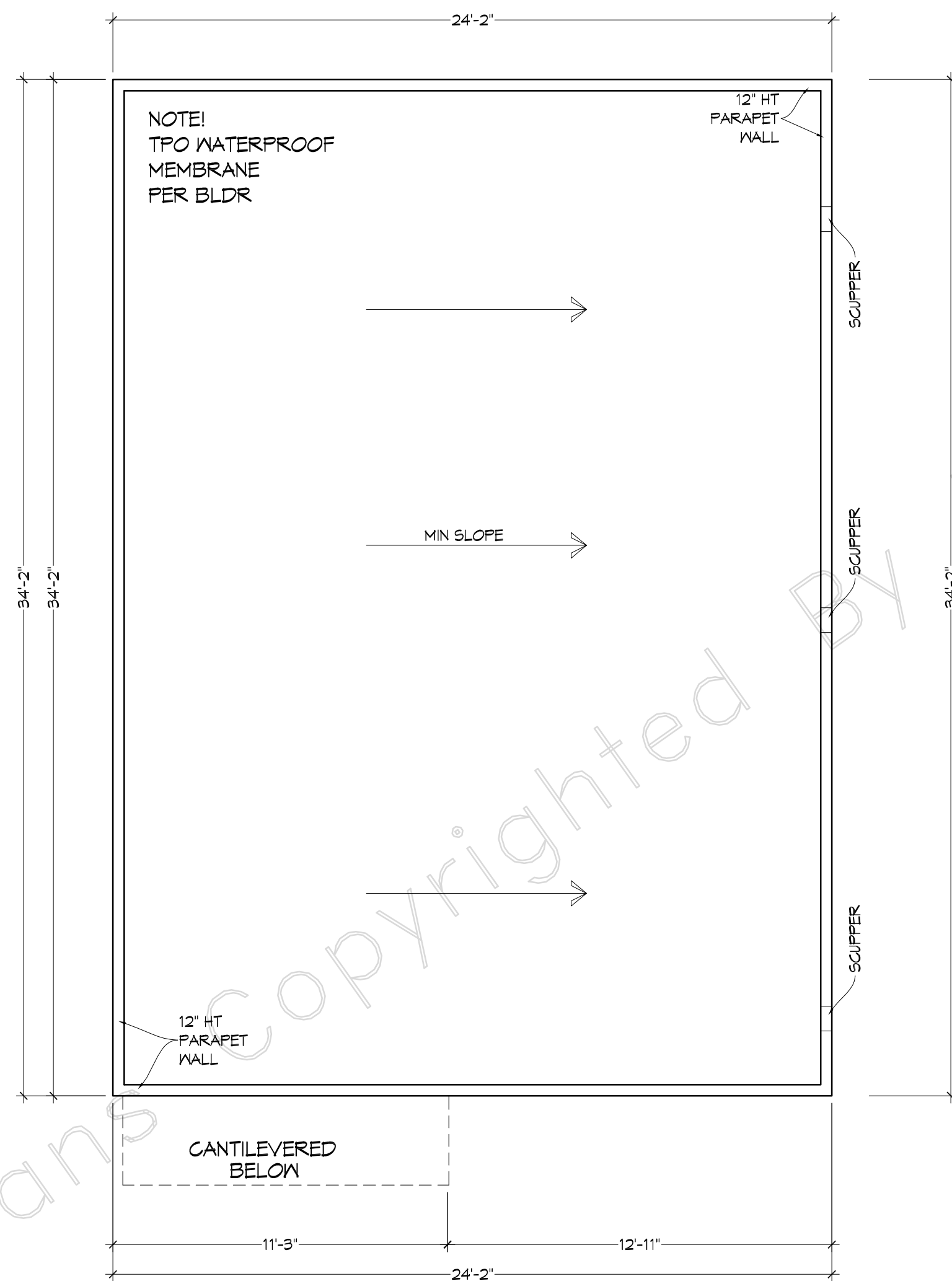
1. IT IS NOT THE INTENT OF THESE DOCUMENTS TO FULLY DETAIL ALL CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM ALL WORK WITHIN THE STANDARD CONSTRUCTION PRACTICES THAT ENSURES PROPER STRUCTURAL DETAILING AND SIZING. WEATHERPROOF DETAILING, AND QUALITY WORKMANSHIP. IT IS THE CONTRACTORS RESPONSIBILITY TO ENGAGE THE SERVICES QUALIFIED STRUCTURERS TO REVIEW ALL NON-TYPICAL FOUNDATION OR FRAMING CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION SHALL MEET OR EXCEEDS ALL APPLICABLE CODES.
2. THIS PLAN HAS BEEN DESIGNED AS PER THE STANDARD BUILDING CODE. THE CONTRACTOR IS RESPONSIBLE TO MEET THE MINIMUM SEISMIC REQUIREMENTS AS PER THE CODES DEPARTMENT WITH JURISDICTION. ALL JOIST AND RAFTERS HAVE BEEN SIZED BASED ON THE SOUTHERN ONE SPAN TABLE PROVIDED BY THE BUILDING DEPARTMENT COUNCIL USING THE 2013 S.P.I.B. STANDARD GRADING RULES FOR NO.2 VISUALLY GRADED. SEE SIZING TABLE.
3. DIMENSIONS ARE FROM FACE OF SHEETROCK TO FACE OF SHEETROCK(4.5" OR 6.5"). BRICK VENER SHOWN 5 INCHES FROM DEGRADING. WINDOW HEADER HEIGHT: 6 INCHES-8 INCHES. DOOR THRESHOLD: 2 INCHES. ANGLE WALLS ARE 45 DEGREES U.O.N. OR DIMENSIONED. ALL STUDS TO BE AT 16 INCHES ON CENTER U.O.N.
4. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL WALLS. PROVIDE SOLID BRIDGING ON ALL FLOOR JOIST SPANS OVER 10 FEET AND AT INTERVALS NOT TO EXCEED 8 FEET. PROVIDE DOUBLE SHEETROCK BRIDGING ON CENTER WHEN JOIST OR PLYWOOD DECKING DOES NOT SPAN AND THE RAFTER BEARING PLATES. HALF INCH PLYWOOD SUBFLOOR MAY BE SUBSTITUTED. PROVIDE FULL SOLID STUD BEARING UNDER ALL HEADERS AND BEAMS TO SOLID FOUNDATION BELOW.
5. ALL MANUFACTURED PRODUCTS, SYSTEMS OR APPLICATIONS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATION. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED ALL APPLICABLE CODES.
6. H.V.A.C. SUBCONTRACTOR SHALL COORDINATE COMPLETE SYSTEM REQUIREMENTS WITH SUPPLIER AND PROVIDE EQUIPMENT LAYOUT THAT MEETS LOCAL CLIMATE CONDITIONS AND BUILDING CODES.
7. THE ELECTRICAL EQUIPMENT SHOWN REPRESENTS CONCEPT ONLY AND THE SUBCONTRACTOR IS RESPONSIBLE FOR COORDINATING OWNERS INTENT WITH SAFETY REQUIREMENTS AND COMPLYING WITH ALL APPLICABLE CODES.
8. ALL WOOD FRAMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. USE TREATED LUMBER AT ALL EXTERIOR PORCH DECK LOCATIONS.
9. TO MINIMIZE EXCESSIVE MOISTURE AND MOLD CONDITIONS, PROVIDE AN APPROVED VAPOR BARRIER UNDER FOOTINGS, SLABS, AND FLOOR JOISTS AT GRAVEL LEVEL. USE AN EXTERIOR SHEATHING WITH SUFFICIENT PERM RATING ON ALL OUTSIDE WALLS. PROPERLY DESIGN AND SIZE HVAC SYSTEM AND INCLUDE A 10% FRESH AIR INTAKE.
10. ALL STANDARD, MINIMUM CODE CONNECTION AND FASTENING PRACTICES ARE TO BE ADHERED TO BY QUALIFIED FOUNDATION, FRAMING, DRYWALL, TRIM AND MASONRY CONTRACTORS.



SQUARE FOOTAGE

213	HEATED FIRST FLOOR
826	HEATED SECOND FLOOR
859	HEATED THIRD FLOOR
1848	TOTAL HEATED
589	CARPORT & STORAGE
59	PORCH
648	TOTAL UNHEATED
2546	TOTAL UNDER ROOF

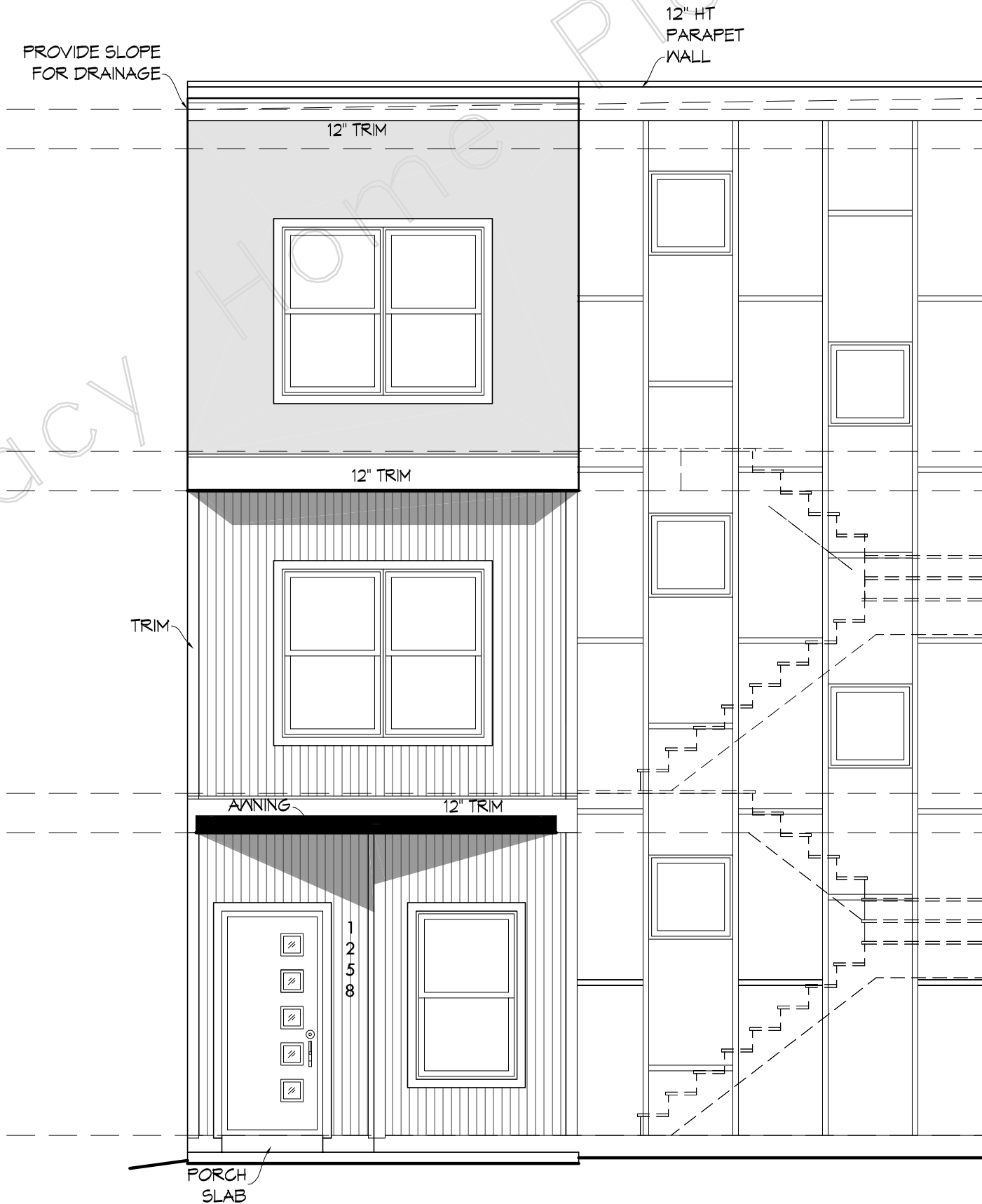




# Unit A



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

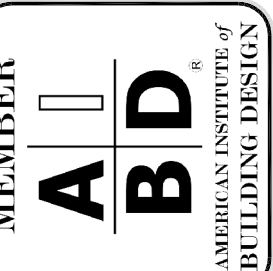


FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

# Unit A

# Unit A

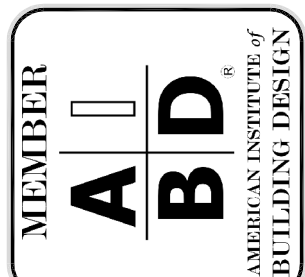
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MAY VARY WITH LOCATION AND CHANGE FROM TIME TO TIME.  
AND BE RESPONSIBLE FOR ALL DETAILS AND DIMENSIONS, AND  
ALL CONSTRUCTION TOTAL LIABILITY OF LEGACY HOME PLANS  
LLC. NOT TO EXCEED THE COST OF ORIGINAL PLANS.



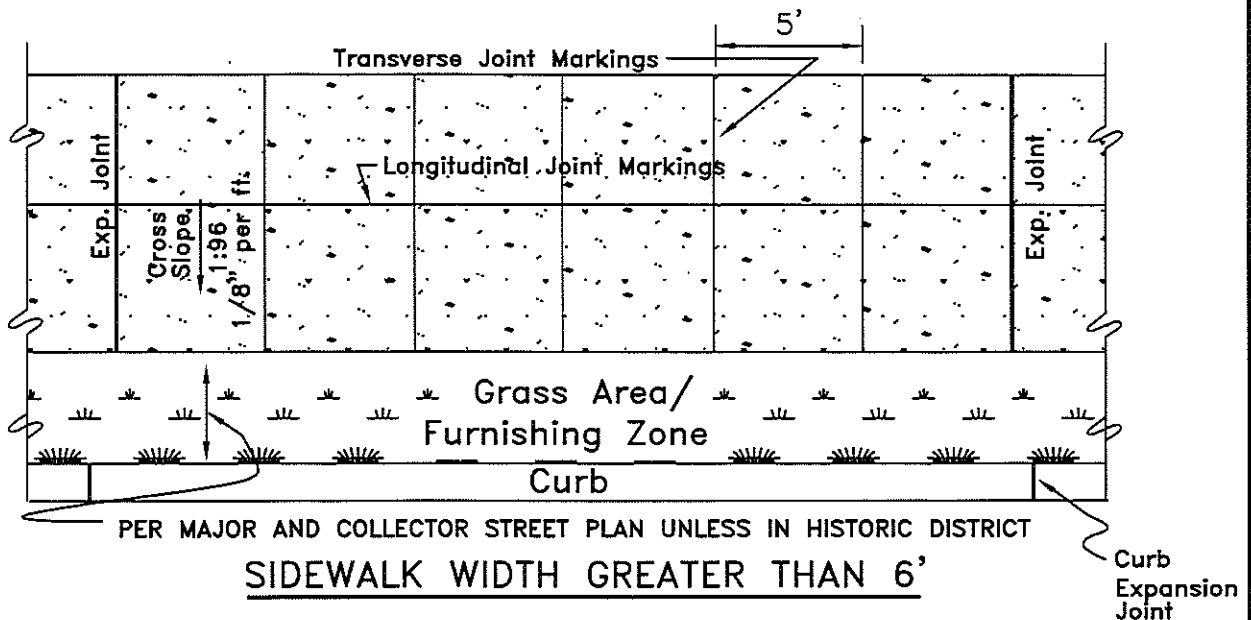
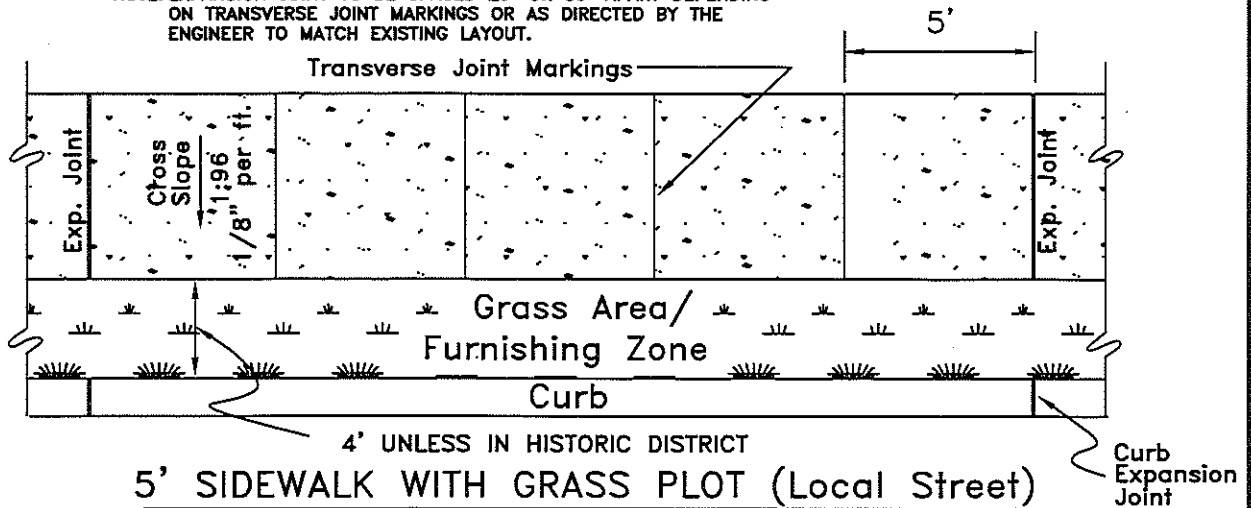
FOR	SCALE	DATE	4
	As Shown	4-21-22	
PLAN NAME	DRAWN BY	OMA/SMV	
Stones River 1.5			
PLAN NO.			
0213-826-859-648			



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NOTE: EXPANSION JOINT TO BE SPACED 25' OR 30' APART DEPENDING ON TRANSVERSE JOINT MARKINGS OR AS DIRECTED BY THE ENGINEER TO MATCH EXISTING LAYOUT.



#### GENERAL NOTES

1. SIDEWALKS SHALL BE A MINIMUM OF 4 INCHES IN THICKNESS.
2. MAXIMUM CROSS SLOPE FOR SIDEWALKS SHALL NOT EXCEED 1:48 (VERTICAL:HORIZONTAL).
3. IN HISTORIC DISTRICTS THE STANDARD SHALL BE THE PREVAILING CHARACTERISTIC OF THE BLOCK FACE.
4. SIDEWALK SHALL BE CONSTRUCTED OF WHITE CONCRETE, BRICK, OR EXPOSED AGGREGATE PER METRO DEPARTMENT OF PUBLIC WORKS TECHNICAL SPECIFICATIONS, SECTION 02522.
5. IF APPROVED THE FURNISHING ZONE MAY CONTAIN HARDSCAPE MATERIALS SUCH AS CONCRETE, BRICK, OR PAVERS.
6. COMPACTED STONE BASE, PUG MILL MIX, 4" THICK SHALL BE APPLIED TO SUB GRADE PRIOR TO INSTALLING SIDEWALK.
7. FURNISHING ZONE IS AN AREA FOR OBSTRUCTIONS IN THE SIDEWALK. EXAMPLES ARE OUTDOOR CAFES, POWER POLES, FIRE HYDRANTS, SIGNS, ETC.
8. IN THE EVENT OF ANY CONFLICT, DISCREPANCY, OR INCONSISTENCY AMONG THE PLANS AND THESE STANDARD DETAILS, THE REQUIREMENTS OF THE STANDARD DETAILS SHALL GOVERN.

NTS

METROPOLITAN GOVERNMENT OF  
NASHVILLE AND DAVIDSON COUNTY  
DEPARTMENT OF PUBLIC WORKS

#### SIDEWALK CONSTRUCTION

DWG. NO. ST-210

DIR. OF ENG.: *[Signature]*

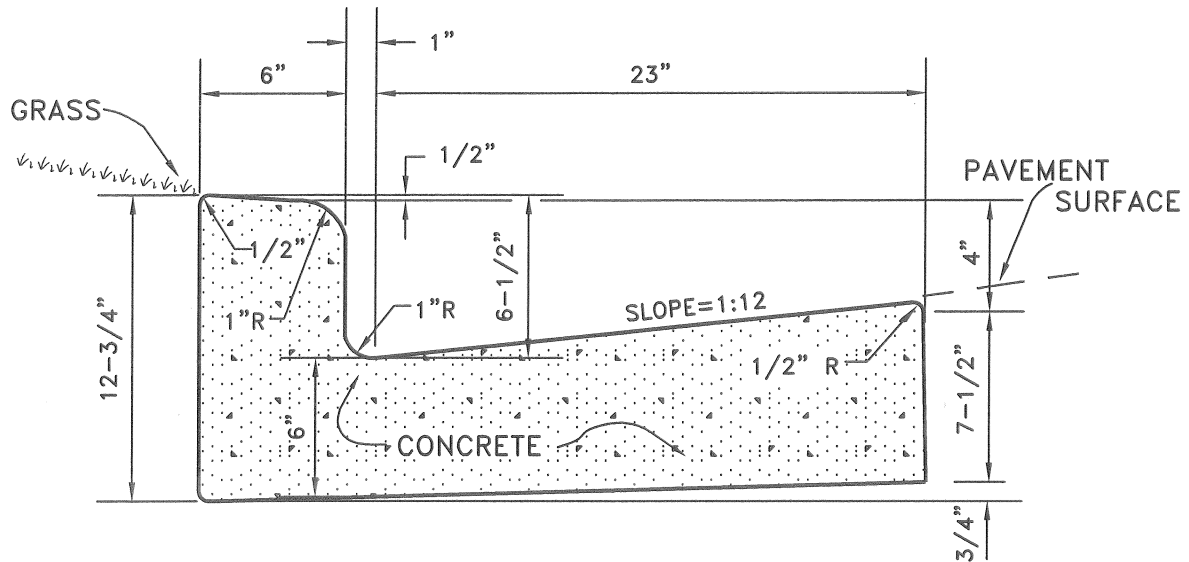
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REVISED: 05/02/03

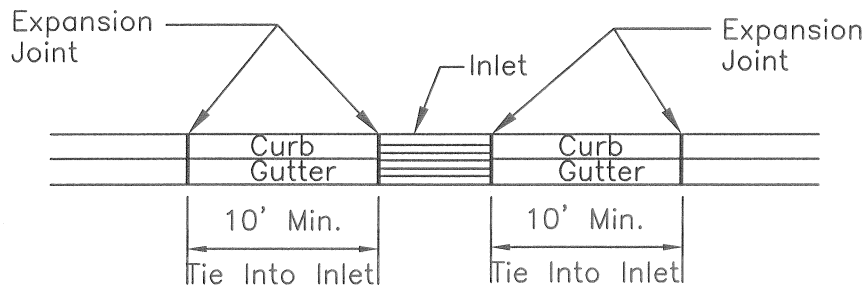
REVISED: 11/24/03

REVISED: 06/23/04

REVISED: 09/11/17



TYPICAL CROSS - SECTION



FRONT VIEW

GENERAL NOTES

1. Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
2. Expansion joints will also be required at tangent points, ramps, and inlets.
3. Contraction joints are to be cut into curb and gutter every 10 feet to a depth of  $D/4$ , where  $D$  equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
4. There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
5. Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

NOT TO SCALE

METROPOLITAN GOVERNMENT OF  
NASHVILLE AND DAVIDSON COUNTY  
DEPARTMENT OF PUBLIC WORKS

STANDARD CURB  
WITH GUTTER

DWG. NO. ST-200

DIR. OF ENG.:

*Mark May*

DATE: 5/12/03

REVISED: 07/21/00  
REVISED: 05/02/03  
REVISED:



# HYDRANT FLOW TEST CUSTOMER INFORMATION AND BILLING SUMMARY FORM



<b>REQUEST DATE :</b>	6/8/2022
<b>WORK ORDER # :</b>	4203904
<b>PROPERTY LOCATION :</b>	1258 D 1ST AVE S
<b>CROSS STREET :</b>	HART ST
<b>DATE OF TEST :</b>	6/22/2022
<b>TIME OF TEST :</b>	15:12
<b>FLOW HYDRANT ID :</b>	01861
<b>MONITOR HYDRANT ID :</b>	00852

## CUSTOMER BILLING INFORMATION

<b>CONTACT PERSON :</b>	BRIAN MUSSER				
<b>EMAIL :</b>	<a href="mailto:MUSSER1873@HOTMAIL.COM">MUSSER1873@HOTMAIL.COM</a>				
<b>COMPANY NAME :</b>	SWIFT DEER DEVELOPMENT				
<b>STREET ADDRESS :</b>	725 MELPARK DR #162				
<b>CITY :</b>	NASHVILLE	TN		<b>ZIP</b>	37204
<b>PHONE :</b>	774-571-9256				

## COMMENTS

<b>REQUEST TO BE ON SITE</b>	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	NO
<b>RESULTS (Select) :</b>	<input checked="" type="checkbox"/> EMAIL <input type="checkbox"/> FAX <input type="checkbox"/> PICKUP	
<b>PERMIT # :</b>	WSFH20220 38137	
<b>FLOW HYD ADDRESS:</b>	1251 1ST AVE S	
<b>MONITOR HYD ADDRESS:</b>	19 HART ST	
<b>NOTES:</b>		

### PURPOSE OF HYDRANT TEST (CHECK ALL THAT APPLY):

<b>REVIEW FOR BUILDING PERMIT REQUIRED BY:</b>		
<input type="checkbox"/> Fire Marshal	<b>Flow Requirement</b>	<b>GPM</b>
<input type="checkbox"/> Metro Water Services		
<b>ENGINEER/FIRE SPRINKLER COMPANY</b>		
<input type="checkbox"/> Sprinkler Design		
<b>Proposed tap location(s) &amp; main size:</b>		
<input checked="" type="checkbox"/> Proposed Development with Hydrants		
<b>Proposed tap location(s) &amp; main size:</b>		

**CHARGES :** \$100.00

**MWS INITIAL** JN

**TOTAL :** \$ 100.00



## Two Hydrant Test Results Summary System Services Division (SSD)

Business Unit: 65556810 Work Order # **4203904**

Date of Test	6/22/22	Request Date: 6/8/2022
Property Location	1258 D 1ST AVE S	
Cross Street:	HART ST	

### Hydrant # 1 - Flowing Hydrant

MWS ID	01861			
Static Pressure	102	psi	Time ON	3:12 PM
Flow Pressure (Pitot)	47	psi	Time OFF	3:32 PM

Hydrant Outlet Coefficient 0.9  
 Hydrant Outlet Diameter 2.5 inches  
 This corresponds to a flowrate of 1,151 gpm Using the Orifice Eqtn. (4.7.3 of NFPA 291)

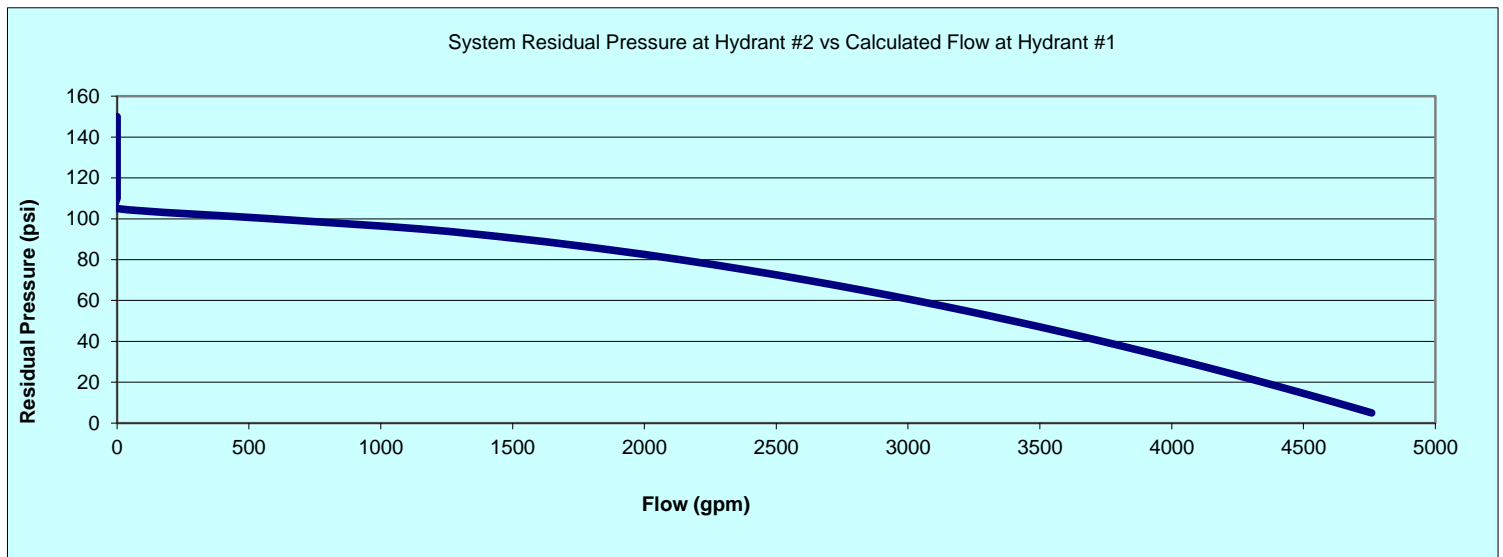
### Hydrant #2 - Monitoring Hydrant

MWS ID	00852			
Static Pressure	102	psi	Time ON	3:12 PM
Residual Pressure	95	psi	Time OFF	3:32 PM

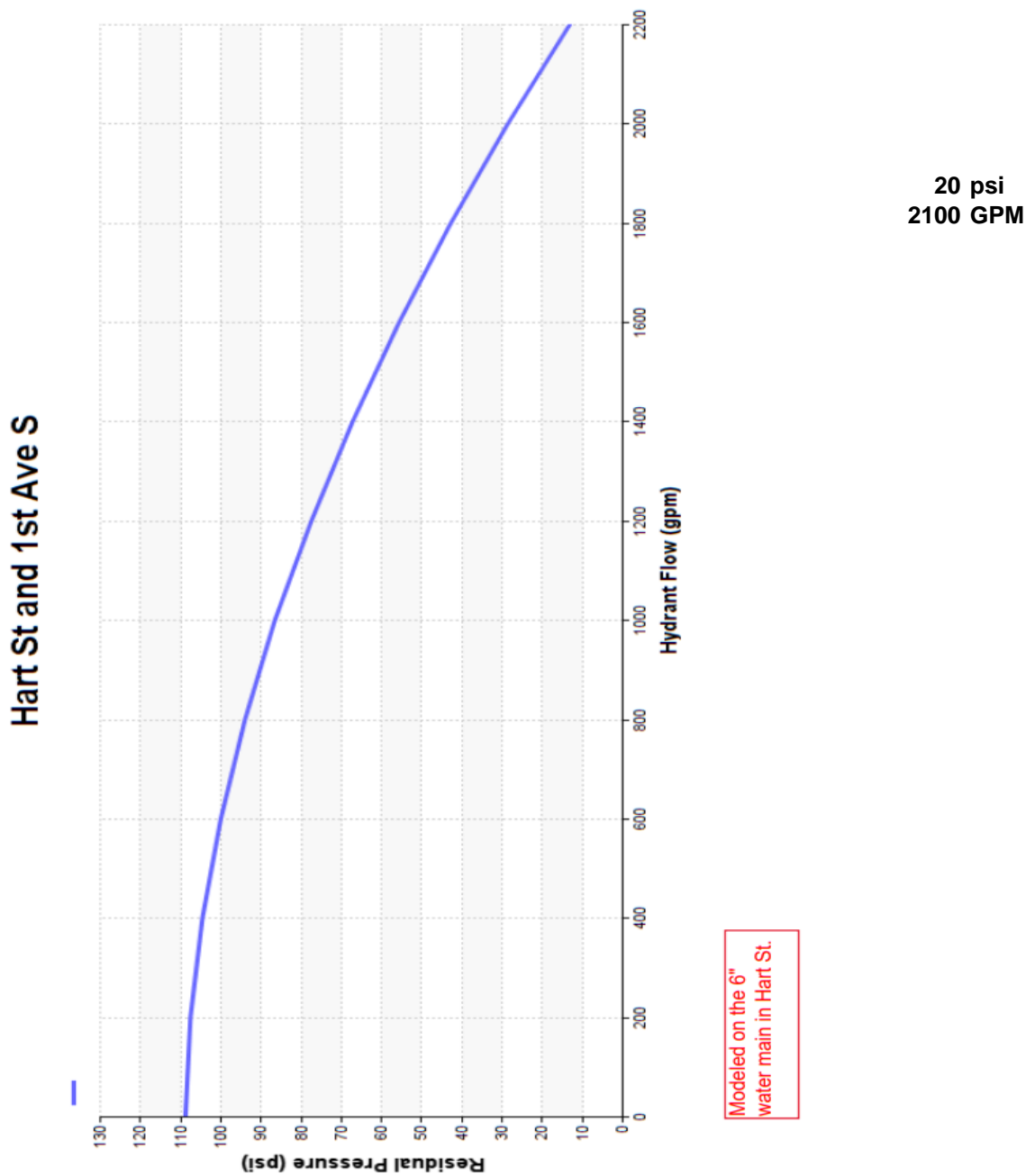
Calculation of available fire flow at 20 psi as required by Table H.5.1 of the NFPA 1 Uniform Fire Code 2006 Edition (Using the pressure relational equation - 4.10.1.2 of NFPA 291)

With a 20 psi residual pressure at Hydrant #2, the available flow in the main at Hydrant #2 is: **SEE PAGE 3** gpm

MWS is providing these instantaneous readings for informational purposes only and cannot ensure that it represents actual hydrant flow conditions over any period of time.



# MODEL RESULTS

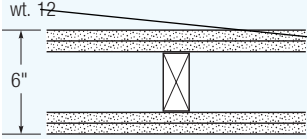
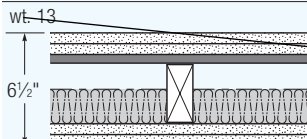



Note: The graph represents the model-predicted available capacity of the 6" diameter water main in Hart St and does not represent the estimated available fire flow through a fire hydrant. Additionally, this analysis neglects any pressure losses associated with backflow devices, valves, customer meters, small diameter connections such as service lines, etc.



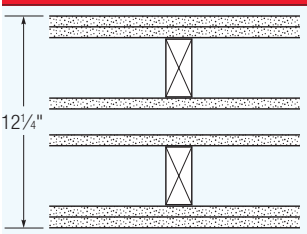
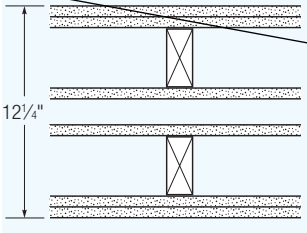
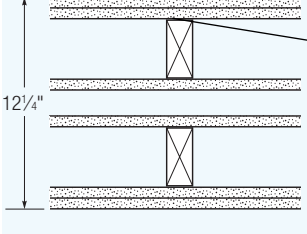
## Wood Framed



2 Hour Fire-Rated Construction		Loadbearing		Acoustical Performance		Reference
Construction Detail	Description	Test Number	STC	Test Number		Index
 <p>wt. 12 6"</p>	<ul style="list-style-type: none"> <li>5/8" SHEETROCK FIRECODE Core gypsum panels or SHEETROCK water-resistant FIRECODE Core gypsum panels or FIBEROCK panels</li> <li>2 x 4 wood studs 16" o.c.</li> <li>joints finished</li> <li>optional veneer plaster</li> </ul>	UL Des U301	52	<b>USG-810218</b> Based on same assembly with RC-1 channel and without mineral wool batt		A-68
 <p>wt. 13 6 1/2"</p>	<ul style="list-style-type: none"> <li>5/8" SHEETROCK FIRECODE C Core gypsum panels</li> <li>2 x 4 wood studs 16" o.c.</li> <li>2" THERMAFIBER SAFB</li> <li>RC-1 channel or equivalent one side</li> <li>joints finished</li> </ul>	UL Des U334	58	<b>USG-810219</b> Based on same assembly with RC-1 channel and 2" mineral wool batt		A-69
1 Hour Fire-Rated Construction		Chase Walls				
 <p>wt. 13 6 1/2"</p>	<ul style="list-style-type: none"> <li>5/8" SHEETROCK FIRECODE C Core</li> </ul>	UL Des U340				A-70

# Firewall between units

## UL: U342

2 Hour Fire-Rated Construction						
 <p>12 1/4"</p>	<ul style="list-style-type: none"> <li>5/8" SHEETROCK FIRECODE Core gypsum panels or FIBEROCK panels, outside</li> <li>5/8" SHEETROCK FIRECODE Core gypsum panels or FIBEROCK panels</li> <li>2 x 4 wood studs 24" o.c.</li> </ul>	UL Des U342				A-72
 <p>12 1/4"</p>	<ul style="list-style-type: none"> <li>Alternate based on 1/2" SHEETROCK FIRECODE C Core gypsum panels, both outside, both walls double layer and inside single layer</li> </ul>	GA-WP-3810	57	<b>RAL-TL-73-224</b> 3-1/2" glass fiber		A-73
 <p>12 1/4"</p>	<ul style="list-style-type: none"> <li>Alternate based on 1/2" SHEETROCK FIRECODE C Core gypsum panels, outside both walls double layers only</li> </ul>	GA-WP-3812	57	<b>TL-73-224</b> 3-1/2" glass fiber		A-74